

**UMATILLA PLANNING COMMISSION MEETING
AGENDA
COUNCIL CHAMBERS
JANUARY 26, 2021
6:30 PM**

1. **CALL TO ORDER & ROLL CALL**

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF MINUTES**

3.a November 24, 2020 Minutes *Suggested Action: Draft minutes for Commission approval*

4. **UNFINISHED BUSINESS**

5. **NEW BUSINESS**

5.a **Fast Mart Replat (RP-1-21)** *Suggested Action:*

The applicant, Fast Mart Umatilla Inc., requests approval to replat two Downtown Commercial lots into one. The proposed replat would result in one lot. The properties are identified as Tax Lot 2300 and 2400 on Assessors Map 5N2817BD. Arvind Kumar Mungra is the property owner.

5.b **Parametrix Replat (RP-2-21)** *Suggested Action:*

The applicant, Parametrix, requests approval to replat three Heavy Industrial lots into two. The proposed replat would result in two lots. The properties are identified as Tax Lot 2000 and 2100 on Assessors Map 5N28A and Tax Lot 600 on Assessors Map 5N29B. The Replat will include a 100' wide public road dedication for the extension of Wanapa Road. Amazon Data Services is the property owner.

6. **DISCUSSION ITEMS**

7. **INFORMATIONAL ITEMS**

7.a **Livestock Residential Update** *Suggested Action: Two hour notice for discharge of weapon in LR zone. Adoption expected at Feb 2nd Council meeting.*

8. **ADJOURNMENT**

This institution is an equal opportunity provider. Discrimination is prohibited by Federal law. Special accommodations to attend or participate in a city meeting or other function can be provided by contacting City Hall at (541) 922-3226 or use the TTY Relay Service at 1-800-735-2900 for appropriate assistance.

UMATILLA PLANNING COMMISSION MEETING
****DRAFT MINUTES****
COUNCIL CHAMBERS
NOVEMBER 24, 2020
6:30 PM

1. **CALL TO ORDER & ROLL CALL**

Meeting called to order at 6:30 p.m.

- A. **Present:** Commissioners; Boyd Sharp, Kelly Nobles, Bruce McLane, Jennifer Cooper, Hilda Martinez
- B. **Absent:** Heidi Sipe, Keith Morgan,
- C. **Late arrival:**
- D. **Staff present:** Community Development Director, Brandon Seitz and Associate Planner, Jacob Foutz.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF MINUTES**

3.a October 27, 2020 Minutes Motion to approve by Commissioner Cooper, seconded by Commissioner Morgan. Motion Carries 6-0.

4. **UNFINISHED BUSINESS**

5. **NEW BUSINESS**

5.a Jesse Guzman Annexation ANX-2-20 Suggested Action:

The applicant, Jesse Guzman, seeks approval to have his property, Tax lot 1201 on Assessors map 5N2817CA, situated in the City of Umatilla's urban growth boundary annexed into the City limits. Jesse connected to City Sewer and due to the contiguous border between his property and the City limits he has chosen to Annex into the City.

Chair Sharp opened the hearing and read into the record the Public Hearing Opening Statement.

Chair Sharp asked for the staff report.

Chair Sharp asked if there was any conflicts or objections. None.

Associate Planner Foutz explained that the applicant's sewer system had failed and he has connected to City Services. To avoid being charged double rates the applicant has asked to be annexed into the City of Umatilla. Staff recommended that the Commission recommend approval to the City Council.

Chair Sharp asked for any testimony from the applicant. Applicant was not present.

Vice Chair Sharp called for a motion to close the hearing of ANX-2-20. Motion to close by Commissioner Nobles. Seconded by Commissioner Martinez. Motion Carried 4-0.

Chair Sharp asked for any question or discussion among commission members.

Commissioner Nobles asked if the neighbors to the applicant could no annex into the City as well because they are now contiguous with City limits.

Associate Planner Foutz confirmed that was possible because of there are water and sewer services that run in Stephens Ave.

Commissioner Nobles asked if they could annex in without improvements to the street. Director Seitz explained that it would be something the City would need to look into and address in the future. He stated the question becomes when does Stephens become a City Street as homes annex in to the City one by one.

Commission Nobles asked if the Road agreement has to be a part of the Annexation.

Director Seitz explained that it does not.

Commissioner McLane asked if there is a percentage that will create a local improvement district (LID) or if it is an arbitrary number.

Director Seitz explained that it is a little arbitrary. There is no hard and fast percentage. It will be something that will need to be discussed going forward.

Commissioner Nobles asked if the planning commission could require a LID as a part of this approval.

Chair Sharp suggested that they can't because it would cause a new hearing to take place.

Director Seitz stated it would be hard to connect them to doing road improvements due to the fact that the City would not own the street.

Chair Sharp called for a motion to recommend approval of ANX-2-20 to the City Council. Motion to approve by Commissioner Nobles. Seconded by Commissioner McLane. Motion Carried 4-0.

6. **DISCUSSION ITEMS**

6.a Planning Commission Yearly Report Suggested Action: Presented by Staff

Yearly Report presented by Associate Planner Foutz. Report can be found in Packet.

6.b December Meeting Suggested Action: No applications for December

Commission decided to cancel the December meeting.

7. **INFORMATIONAL ITEM**

8. **ADJOURNMENT**

Meeting Adjourned at 7:00pm

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DRAFT

**CITY OF UMATILLA PLANNING COMMISSION
REPORT AND RECOMMENDATION
FOR
REPLAT RP-1-21**

DATE OF HEARING: January 26, 2021

REPORT PREPARED BY: Jacob Foutz, Associate Planner

I. GENERAL INFORMATION AND FACTS

- Applicant:** Fast Mart Umatilla Inc., 635 South Hwy 395, Hermiston OR 97838.
- Property Owners:** Arvind Kumar Mungra, 635 South Hwy 395, Hermiston OR 97838.
- Land Use Review:** Replat of Tax Lots 2300 and 2400 on Assessors Map 5N2817BD.
- Property Description:** The properties are described as Tax Lots 2300 and 2400 on Assessors Map 5N2817BD.
- Location:** The properties are North of Hwy 730/ 6th Street in the City of Umatilla. The properties have a Situs address of 821 and 831 6th Street, Umatilla, OR 97882.
- Existing Development:** Tax Lot 2400 has an existing building and Tax Lot 2300 has an existing parking lot.
- Proposed Development:** The applicant intends to reconfigure the existing two lots into one (1) lot. The replat would result in one lot with frontage on Hwy 730/6th Street.
- Zone** Downtown Commercial (DC).
- Adjacent Land Use(s):**

Adjacent Property	Zoning	Use
North	Downtown Residential/Commercial (DR/DC)	Vacant Land
South	Downtown Commercial (DC)	Old Post Office
East	Downtown Commercial (DC)	Auto Parts Store
West	Downtown Commercial (DC)	Abandoned House

II. NATURE OF REQUEST AND GENERAL FACTS

The applicant, Fast Mart Umatilla Inc., requests approval to replat two existing lots. The proposed replat would result in one (1) lot. The properties are identified as Tax Lots 2300 & 2400 on Assessors Map 5N2817BD. The intent of the replat is to create one lot with street frontage onto Hwy 730/6th Street.

The City's Land Division Ordinance (LDO) does not directly address replat requests, however, Section 11-2-6(A) addresses land division approval criteria. Therefore, the City will process the request subject to the standards contained in Section 11-2-6 of the LDO similar to a subdivision or partition request.

III. ANALYSIS

The criteria applicable to this request are shown in underlined text and the responses are shown in standard text. All of the following criteria must be satisfied in order for this request to be approved.

CITY OF UMATILLA ZONING ORDINANCE

SECTION 10-4A-7: DEVELOPMENT STANDARDS: (Downtown Commercial, DC)

Minimum lot or parcel size:	
Commercial uses	None
Residential uses	None; density shall comply with R-3 district requirements
Minimum lot width	None
Maximum front or street side yard setback	10 feet; the maximum front yard setback may be increased by 10 feet if the setback is occupied by an outdoor feature relating to the business or public amenity such as seating or artwork
Minimum yard setbacks:	
Front and rear yards	0 feet or 10 feet if adjacent to a residential district
Side yard	0 feet or 10 feet if adjacent to a residential district
Street side yard	1 foot
Parking space	10 feet wide; see chapter 9 of this title for parking standards
Maximum building height	35 feet
Maximum site coverage (building and impervious surface)	95 percent

Findings: The applicant is proposing to replat two existing lots into one (1) lot. Tax Lots 2300 & 2400 on Assessors Map 5N2817BD are both currently zoned DC. The result of the request will create 1 lot zoned DC. The dimensional standards for the DC zone (Section 10-4A-7) is listed above for reference. The proposed lot will exceed the minimum lot width and depth and area requirements.

Conclusion: The proposed lot exceed the minimum dimensional standards for new lots located in the DC zoning district.

CITY OF UMATILLA LAND DIVISION ORDINANCE

SECTION 11-2-6: LAND DIVISION APPROVAL CRITERIA:

No plat for a subdivision or partition may be considered for approval until the city has approved a tentative plan. Approval of the tentative plan shall be binding upon the city and the applicant for the purposes of preparing the subdivision or partition plat. In each case, the applicant bears the burden of proof to demonstrate that the proposal satisfies applicable criteria and standards.

A. Approval Criteria: Land division tentative plans shall only be approved if found to comply with the following criteria:

1. The proposal shall comply with the city's comprehensive plan.

Findings: The City of Umatilla's Zoning Ordinance (CUZO) and LDO implement the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO and LDO the request is considered to be consistent with the comprehensive plan.

Conclusion: The CUZO and LDO implement the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO and LDO the request is considered to be consistent with the comprehensive plan. This request is found to meet or be capable of meeting all of the applicable standards and criterion in the CUZO and LDO as addressed in this report.

2. The proposal shall comply with the I-82/U.S. 730 interchange area management plan (IAMP) and the access management plan in the IAMP (section 7) as applicable.

Findings: The interchange area management plan (IAMP) extends along U.S. Highway 730 from its intersection with U.S. Highway 395 west to Eisele Drive just west of the U.S. Post Office within City Limits. The properties are not within the IAMP area.

Conclusion: The properties are not located within the I-82/U.S. 730 Interchange Management Area. This criterion is not applicable.

3. The proposal shall comply with the city's zoning requirements.

Findings: The properties are located within the DC zoning district and the applicable City zoning requirements are addressed above. The proposed lot complies with all of the dimensional standards as addressed in this report.

Conclusion: The proposed lot will meet the minimum dimensional standards as addressed in this report.

4. The proposal shall comply with the city's public works standards.

Findings: The City's public works standards are engineering design and safety standards for construction of streets, sidewalks, curbs, water/sewer lines, other utilities and for installation of improvements. In preliminary conversations with the applicant there has been discussion regarding the use of the building and the creation of a new entrance. When

that time comes the public works standards will need to be met and plans submitted to the City of Umatilla building department.

Conclusion: The proposal will result in a one (1) lot, however, no new streets or dedication of public rights of way are proposed or necessary. Installation of sidewalks will be required to meet the City's Public Works Standards in place at the time of the request.

5. The proposal shall comply with applicable state and federal regulations, including, but not limited to, Oregon Revised Statutes 92, 197, 227, and wetland regulations.

Findings: The CUZO and LDO implement the applicable provision of ORS 92, 197, 227. The subject property does not contain wetlands as shown on the National Wetlands Inventory (NWI) or figure 5-1.2 in the City's Comprehensive Plan. Except as implemented through the City's ordinance, applicable state and federal regulations will be required to be met as a condition of approval.

Conclusion: This request is found to meet or be capable of meeting all of the standards and criterion as addressed in this report, the proposal will comply with applicable state and federal regulations, as implemented through the City's ordinances. The applicant will be required as a condition of approval to comply with all other state and federal requirements.

6. The proposal shall conserve inventoried natural resource areas and floodplains, including, but not limited to, mapped rivers, creeks, sloughs, and wetlands.

Findings: There are no known wetlands, as identified on the NWI, or flood zones on the subject property. The City of Umatilla's Comprehensive Plan does not identify any significant natural resources on the property and there are no known rivers, creeks or sloughs on the property.

Conclusion: There are no inventoried natural resource areas, waterways, water bodies or floodplain areas to conserve on the property. This criterion is not applicable.

7. The proposal shall minimize disruption of natural features of the site, including steep slopes or other features, while providing for safe and efficient vehicle, pedestrian, and bicycle access.

Findings: The subject property is not identified as having slope in Figure 7.1-2 of the City of Umatilla's Comprehensive Plan. There are no other known natural features on the subject property. No new streets are proposed as part of this request therefore vehicle, pedestrian and bicycle access will be maintained.

Conclusion: The subject property has no inventoried natural features. No new streets are proposed or necessary to provide access to the site. In addition, the site is currently paved and built upon. Therefore, no disruption of natural features will occur as a result the replat request.

8. The proposal shall provide adjacent lands with access to public facilities and streets to allow its full development as allowed by the City's codes and requirements.

Findings: The two (2) existing lots located along Hwy 730/6th Street currently have direct frontage and have access to city services and public facilities. The Consolidation of two lot

into one will not affect the adjacent lands access or future full development. No new streets are proposed and all of the existing lots will maintain access to public facilities and streets that will allow for future development.

Conclusion: The proposed lot will have access to public facilities and streets.

9. The proposal shall be designed with streets that continue or connect to existing and planned land division plats on adjoining properties. All proposed streets shall comply with standards of this Title and the Public Works Standards.

Findings: The proposed replat will not create a new public street.

Conclusion: The proposed replat will not create a new public street.

SECTION 11-4-5: LOTS:

Lot and parcel size, shape, and orientation shall be consistent with the applicable zoning district and for the type of use contemplated. No lot or parcel dimension shall include the adjacent public right of way.

- A. Through lots with public streets on both front and rear or both sides shall be avoided except when essential to provide separation of residential development from adjacent arterial or collector streets. An easement at least five feet (5') in width shall be located adjacent to the right of way and there shall be no right of access to the major street. A permanent barrier may be required along the right of way, within the easement.

Findings: The proposed lot is not a through lot.

Conclusion: The proposed lot is not a through lot. This criterion is not applicable.

- B. Lot and parcel side lot lines shall be at right angles to fronting streets or radius to curved streets to the extent practical, in order to create lots and parcels with building sites which are nearly rectangular.

Findings: The proposed lot is rectangular in shape to the extent possible. The proposed lot will have an existing building on the site.

Conclusion: The proposed lot will create a building site which is nearly rectangular. The proposed lot will have an existing building on the site.

- C. Lots shall have a width to depth ratio not to exceed 2.5.

Findings: As show on the preliminary plat, the proposed lot will have a width to depth ratio that does not exceed 2.5.

Conclusion: The proposed lot will have a width to depth ratio that does not exceed 2.5.

- D. All lots and parcels shall have a minimum street frontage on a public street of fifty feet (50'), except that lots or parcels fronting a cul-de-sac or curved street may have a minimum street frontage of forty feet (40'), so long as the minimum lot width required by the zoning district is provided at a distance equivalent to the required front yard setback.

Findings: The proposed lot will exceed fifty feet (50') of street frontage. The frontage total will become one hundred (100').

Conclusion: The resulting lot will exceed the minimum fifty feet (50') of street frontage.

- E. Flag lots shall not be acceptable for land divisions, but may be approved if the following circumstances apply:
1. For one or two (2) lot land divisions when it is not practical to create or extend a public street or partial public street due to the nature of surrounding development.
 2. When topographic conditions or other physical constraints make it impractical or infeasible to create or extend a public street.
 3. When the size and shape of the site limit the possible arrangement of new lots or parcels and prevent the creation or extension of a public street.
 4. When allowed, the flag portion of a new lot shall have a minimum width of fifteen feet (15') to accommodate a driveway a minimum of twelve feet (12') wide. Two (2) adjacent flag lots may reduce the street frontage and pole width to twelve feet (12') wide, if joint access easements are created and a driveway is provided with a minimum width of twenty feet (20').

Findings: No flag lots are proposed as part of this application.

Conclusion: No flag lots are proposed as part of this application. These criteria are not applicable.

IV. SUMMARY CONCLUSIONS AND DECISION

This request for tentative replat approval meets or is capable of meeting through appropriate conditions of approval the land division requirements of the City of Umatilla's LDO. Therefore, staff recommends this request (RP-1-21) to replat two (2) existing lots into one (1) be approved based on the findings of fact and conclusion contained in Section III of this report subject to the conditions of approval contained in Section V of this report.

V. CONDITIONS OF APPROVAL

1. A tentative plat must be submitted to the City of Umatilla, Umatilla County Surveyor and Umatilla County GIS Department for review prior to submitting the final plat.
2. Final plat approval must be obtained and recorded within one year from the date of this approval, as required by Section 11-3-1(A) of the Land Division Ordinance, unless the applicant applies for and receives approval of an extension as specified under Section 10-14-16 of the City of Umatilla Zoning Ordinance.
3. The final plat must comply with the requirements of ORS chapter 92 and the requirements in Sections 11-3-1 and 11-3-2 of the City of Umatilla Land Division Ordinance.
4. If any historic, cultural or other archaeological artifacts are discovered during construction and installation of any required improvements, the applicant/developer shall immediately cease construction activity and notify appropriate agencies including, but not necessarily limited to the City of Umatilla and the Confederated Tribes of the Umatilla Indian Reservation (CTUIR).

5. Failure to comply with the conditions of approval established herein may result in revocation of this approval.
6. The applicant shall submit a copy of the final recorded plat to the City of Umatilla.
7. The applicant shall obtain all federal, state and local permits or licenses necessary to record the final plat.

VI. EXHIBITS

Exhibit A Notice Map

Exhibit B Preliminary Plat



FAST MART REPLAT RP-1-21

Legend

Subject Property

Tax Lot 8-26-20 *Property Owners within 100' Recieve Notice



0 25 50 75 100
Feet

MAP DISCLAIMER: No warranty is made as to the accuracy, reliability or completeness of this data. Map should be used for reference purposes only. Not survey grade or for legal use.
Created by Jacob Foutz, on 1/4/2021

"MUNGRA RE-PLAT"

A RE-PLAT OF LOTS 5 & 6 OF BLOCK 75 OF WARDWELL'S ADDITION LOCATED IN THE N.W. 1/4 OF SEC. 17, TWP. 5 N., RNG. 28 E.W.M., CITY OF UMATILLA, UMATILLA COUNTY, OREGON.

CLIENT: ANKIT MUNGRA
821 6TH STREET
UMATILLA, OREGON 97882



LEGEND

- SET PK NAIL WITH A WASHER STAMPED "PLS LS 48509"
 - FND. 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "EDWARDS 951"
 - △ FND. 5/8" IRON ROD
 - X CALC. POSITION
- DEEDS**
- BK 13 PG 48
 - BK 16 PG 89

NOTES

- () R.O.S. 15-044-B
- ([] WARDWELL'S ADDITION
- BK "A" PG 316 & 317
- () CALCULATED
- EXTERIOR BOUNDS OF LOT 1 OF THIS RE-PLAT

SURVEYOR'S NARRATIVE

THIS SURVEY WAS UNDERTAKEN IN NOVEMBER OF 2020 AT THE REQUEST OF ANKIT MUNGRA FOR HIS FATHER AND UNCLE. THE PURPOSE OF THE SURVEY IS TO PERFORM A RE-PLAT ON LOTS 5 & 6 OF BLOCK 75 OF WARDWELL'S ADDITION. THE LAND IS LOCATED IN THE N.W. 1/4 OF SECTION 17, TOWNSHIP 5 NORTH, RANGE 28 EAST, MERIDIAN 12 WEST, UMATILLA COUNTY, OREGON. THE EASTERLY LINE OF THE RE-PLAT IS THE WESTERLY LINE OF WARDWELL'S ADDITION. THE PARENT PARCEL IS DESCRIBED IN UMATILLA COUNTY DEED RECORDS DOCUMENT NUMBER 2020-7090432, AND IS DESCRIBED AS FOLLOWS:

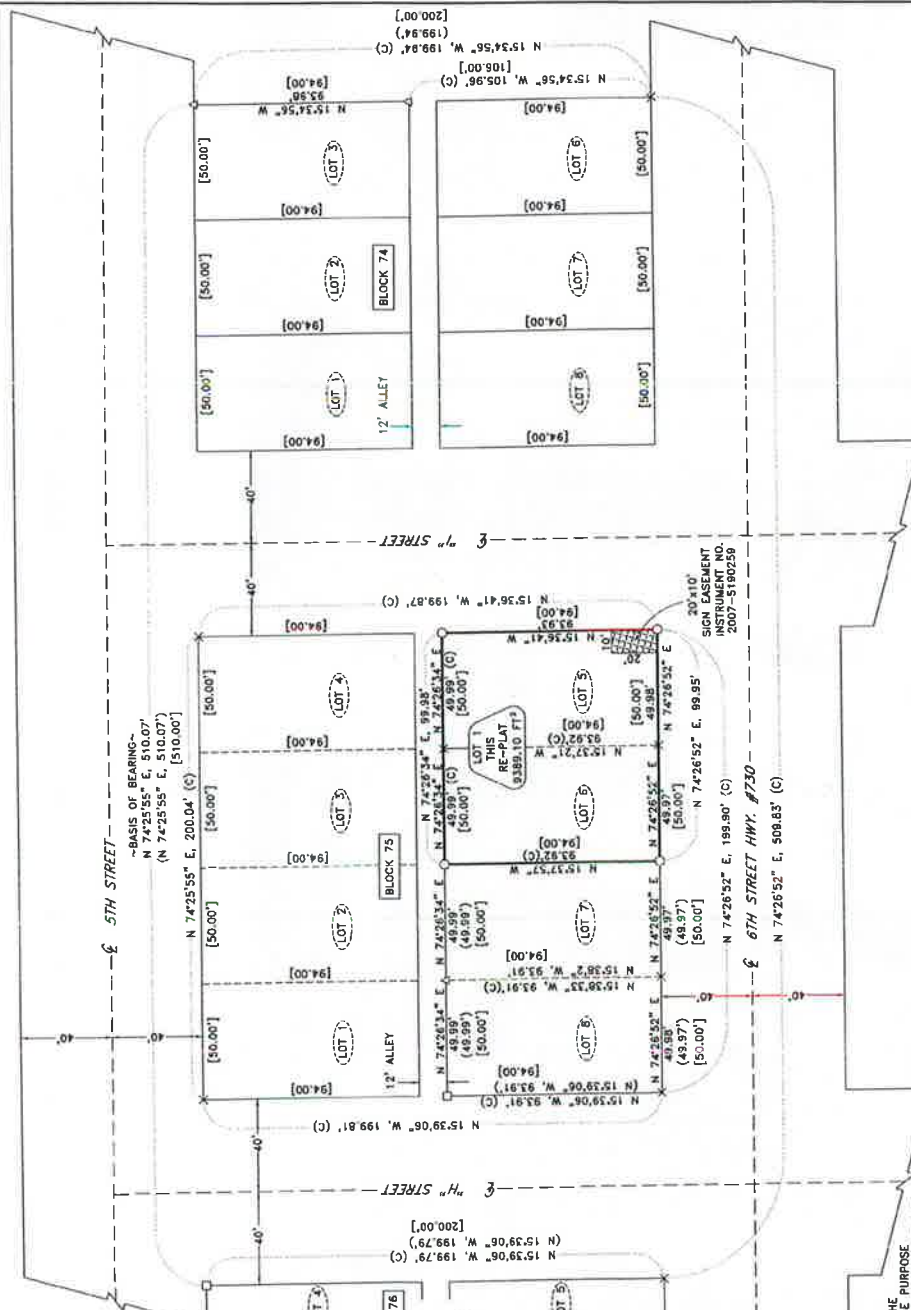
Lots 5, 4, 5, 6 and 7, Block 75, WARDWELL'S ADDITION, in the City of Umatilla, County of Umatilla and State of Oregon.

SUBJECT TO: An easement including the terms and provisions thereof, affecting the portion of said premises and for the purpose of the instrument:
Granted To: Umatilla School District 6R
Recorded May 8, 2007
Instrument No.: 2007-5190259

I ESTABLISHED THE EXTERIOR BOUNDS OF THE PARENT PROPERTY AS FOLLOWS:

NORTHERLY LINE: I ESTABLISHED THE NORTHERLY LINE OF BLOCK 75 OF WARDWELL'S ADDITION FROM THE FOUND 5/8" IRON ROD MARKING THE NORTHEAST CORNER OF BLOCK 76 AND THE FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "EDWARDS 951" MARKING THE NORTHEAST CORNER OF BLOCK 74. I ESTABLISHED THE EASTERLY LINE OF BLOCK 75 OF WARDWELL'S ADDITION FROM THE FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "EDWARDS 951" MARKING THE NORTHEAST CORNER OF LOT 3 OF BLOCK 74 OF WARDWELL'S ADDITION AND THE COMPUTED LOCATION OF THE SOUTHEAST CORNER OF LOT 6 OF BLOCK 74 OF WARDWELL'S ADDITION. SAID LOCATION WAS COMPUTED FROM R.O.S. 15-044-B. SAID LOCATION WAS COMPUTED FROM R.O.S. 15-044-B. THE EASTERLY WESTERLY LINE: I ESTABLISHED THE WESTERLY LINE OF BLOCK 75 OF WARDWELL'S ADDITION FROM THE FOUND 5/8" IRON ROD MARKING THE NORTHEAST CORNER OF LOT 4 OF BLOCK 76 OF WARDWELL'S ADDITION AND THE COMPUTED LOCATION OF THE SOUTHEAST CORNER OF LOT 5 OF BLOCK 76 OF WARDWELL'S ADDITION. SAID LOCATION WAS COMPUTED FROM R.O.S. 15-044-B. THE WESTERLY LINE OF BLOCK 75 OF WARDWELL'S ADDITION WAS ESTABLISHED FROM THE SOUTHERLY LINE OF BLOCK 75 OF WARDWELL'S ADDITION. SAID LOCATION OF LOT 5 OF BLOCK 76 OF WARDWELL'S ADDITION AND THE PREVIOUSLY COMPUTED LOCATION OF THE SOUTHEAST CORNER OF LOT 6 OF BLOCK 74 OF WARDWELL'S ADDITION.

THIS SURVEY WAS ACCOMPLISHED UTILIZING THE TRIMBLE R10 GNSS SYSTEM. THE FOUND 5/8" IRON ROD MARKING THE NORTHEAST CORNER OF LOT 4 OF BLOCK 76 OF WARDWELL'S ADDITION AS WELL AS THE FOUND 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "EDWARDS 951" MARKING THE NORTHEAST CORNER OF LOT 3 OF BLOCK 74 OF WARDWELL'S ADDITION WERE UTILIZED FOR A SITE CALIBRATION ON THE BASE UNIT. THE BASIS OF BEARING IS FROM R.O.S. 15-044-B. EACH CORNER AND FEATURE WAS THEN LOCATED OR SET ON A 15 SECOND EPOCH WITH A FIXED SOLUTION ONLY.



OWNER'S ACKNOWLEDGEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, ARVIND MUNGRA AS AN APPEARER AND MANOJ MUNGRA AS AN APPEARER, MANAGING MEMBER OF 1026 COMMERCIAL, LLC AN OREGON LIMITED LIABILITY COMPANY, AND OWNERS OF THE LAND AS SHOWN ON THIS RE-PLAT AND MORE PARTICULARLY DESCRIBED IN THE ACCOMPANYING LEGAL DESCRIPTION, HAVE CAUSED THE SAME TO BE SURVEYED AS SHOWN ON THIS RE-PLAT.

ARVIND MUNGRA
MANOJ MUNGRA
MANAGING MEMBER OF 1026 COMMERCIAL, LLC
AN OREGON LIMITED LIABILITY COMPANY

KNOW ALL PEOPLE BY THESE PRESENTS THAT ON
THIS DAY _____ OF _____
APPEARED ARVIND MUNGRA AND MANOJ MUNGRA TO ME PERSONALLY KNOWN,
WHO ACKNOWLEDGED THE FOREGOING RE-PLAT TO BE A FREE AND VOLUNTARY
ACT.

BEFORE ME
NOTARY PUBLIC FOR OREGON

PRINTED NAME _____
COMMISSION NO. _____
MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATION

I, BRIT L. PRIMM, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF OREGON, CERTIFY THAT I HAVE EXAMINED THE ORIGINAL RECORDS OF THIS SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION IN DECEMBER 2020, IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING LAW, AS ESTABLISHED BY ORS CHAPTER 92, AND HAVE SET THE PROPER MONUMENTS.

BRIT L. PRIMM
JULY 15, 1999
EXPIRES DATE 12/31/20

I CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORDS OF THIS SURVEY FOR ARVIND MUNGRA AND MANOJ MUNGRA IN UMATILLA COUNTY, OREGON.

BRIT L. PRIMM

APPROVALS

UMATILLA COUNTY SURVEYOR

I DO HEREBY CERTIFY THAT I HAVE EXAMINED THE ACCOMPANYING RE-PLAT AND THAT IT COMPLIES WITH THE LAWS OF THE STATE OF OREGON WITH REFERENCE TO THE FILING AND RECORDING OF SUCH PLATS AND I THEREFORE APPROVE SAID PLAT.

UMATILLA COUNTY SURVEYOR

DATED THIS _____ DAY OF _____

CITY OF UMATILLA PLANNING COMMISSION

THIS IS TO CERTIFY THAT I HAVE REVIEWED THIS PLAT AND IT IS APPROVED FOR FILING AND RECORDING BY MY AUTHORITY.

CITY OF UMATILLA PLANNER

DATED THIS _____ DAY OF _____

UMATILLA COUNTY COMMISSIONERS

WE HAVE EXAMINED THE ACCOMPANYING RE-PLAT AND DO HEREBY CERTIFY THAT IT COMPLIES WITH ALL REQUIREMENTS OF THE ORDINANCES AS ESTABLISHED IN UMATILLA COUNTY AND WE THEREFORE APPROVE SAID RE-PLAT.

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

UMATILLA COUNTY TAX COLLECTOR & ASSESSOR

WE DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TAX RECORDS RELATIVE TO THE LAND COVERED BY THE ACCOMPANYING RE-PLAT AND THAT ALL MONIES DUE TO UMATILLA COUNTY HAVE BEEN PAID AND THAT ALL MONIES THAT COULD CONSTITUTE LIEN ON SAID MONIES HAVE BEEN PAID, AND WE HEREBY APPROVE SAID RE-PLAT.

TAX COLLECTOR _____ DATED THIS _____ DAY OF _____

ASSESSOR _____ DATED THIS _____ DAY OF _____

UMATILLA COUNTY CLERK

UMATILLA COUNTY SURVEYOR

DATED THIS _____ DAY OF _____

CITY OF UMATILLA PLANNING COMMISSION

THIS IS TO CERTIFY THAT I HAVE REVIEWED THIS PLAT AND IT IS APPROVED FOR FILING AND RECORDING BY MY AUTHORITY.

CITY OF UMATILLA PLANNER

DATED THIS _____ DAY OF _____

UMATILLA COUNTY COMMISSIONERS

WE HAVE EXAMINED THE ACCOMPANYING RE-PLAT AND DO HEREBY CERTIFY THAT IT COMPLIES WITH ALL REQUIREMENTS OF THE ORDINANCES AS ESTABLISHED IN UMATILLA COUNTY AND WE THEREFORE APPROVE SAID RE-PLAT.

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

UMATILLA COUNTY TAX COLLECTOR & ASSESSOR

WE DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TAX RECORDS RELATIVE TO THE LAND COVERED BY THE ACCOMPANYING RE-PLAT AND THAT ALL MONIES DUE TO UMATILLA COUNTY HAVE BEEN PAID AND THAT ALL MONIES THAT COULD CONSTITUTE LIEN ON SAID MONIES HAVE BEEN PAID, AND WE HEREBY APPROVE SAID RE-PLAT.

TAX COLLECTOR _____ DATED THIS _____ DAY OF _____

ASSESSOR _____ DATED THIS _____ DAY OF _____

UMATILLA COUNTY CLERK

UMATILLA COUNTY SURVEYOR

DATED THIS _____ DAY OF _____

CITY OF UMATILLA PLANNING COMMISSION

THIS IS TO CERTIFY THAT I HAVE REVIEWED THIS PLAT AND IT IS APPROVED FOR FILING AND RECORDING BY MY AUTHORITY.

CITY OF UMATILLA PLANNER

DATED THIS _____ DAY OF _____

UMATILLA COUNTY COMMISSIONERS

WE HAVE EXAMINED THE ACCOMPANYING RE-PLAT AND DO HEREBY CERTIFY THAT IT COMPLIES WITH ALL REQUIREMENTS OF THE ORDINANCES AS ESTABLISHED IN UMATILLA COUNTY AND WE THEREFORE APPROVE SAID RE-PLAT.

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

COMMISSIONER _____ DATED THIS _____ DAY OF _____

UMATILLA COUNTY TAX COLLECTOR & ASSESSOR

WE DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TAX RECORDS RELATIVE TO THE LAND COVERED BY THE ACCOMPANYING RE-PLAT AND THAT ALL MONIES DUE TO UMATILLA COUNTY HAVE BEEN PAID AND THAT ALL MONIES THAT COULD CONSTITUTE LIEN ON SAID MONIES HAVE BEEN PAID, AND WE HEREBY APPROVE SAID RE-PLAT.

TAX COLLECTOR _____ DATED THIS _____ DAY OF _____

ASSESSOR _____ DATED THIS _____ DAY OF _____

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UMATILLA COUNTY SURVEYOR

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CLIENT: ANKIT MUNGRA

PROJECT: NW 1/4, SEC 17, TWP. 5 N. RNG. 28 E. WM

JOB #: 2012003
DATE: 02 DEC 20
FB/PD: 043/12
SHEET: 1 OF 1
DRAWN: 147
APPROVED: BLP

PRIMM LAND SURVEYING, INC.

P.O. BOX 1322, 1340 N.E. 4TH
HEMSTON, OR 97839
TEL (541) 864-7887
FAX (541) 864-7887
b@primmlandsurveying.com
a@primmlandsurveying.com

**CITY OF UMATILLA PLANNING COMMISSION
REPORT AND RECOMMENDATION
FOR
REPLAT RP-2-21**

DATE OF HEARING: January 26, 2021

REPORT PREPARED BY: Jacob Foutz, Associate Planner

I. GENERAL INFORMATION AND FACTS

Applicant: Parametrix, Scott Bolduc, 150 NW Pacific Park Lane, Suite 110, Bend, OR 97701

Property Owners: Amazon Data Services, Inc., 410 Terry Avenue North, Seattle, WA 98109.

Land Use Review: Replat of Tax Lots 02000 and 02100 on Assessors Map 5N28A and Tax Lot 00600 on Assessors Map 5N28B.

Property Description: The properties are described as Tax Lots 02000 and 02100 on Assessors Map 5N28A, and Tax Lot 00600 on Assessors Map 5N28B.

Location: The subject properties are located at the end of Wanapa Rd in the City of Umatilla.

Existing Development: The property consists of vacant land.

Proposed Development: The applicant intends to develop the property with the first of four proposed data center buildings.

Zone Heavy Industrial (M-2).

Adjacent Land Use(s):

Adjacent Property	Zoning	Use
North	Tribal-not subject to local land use.	Vacant land
South	County EFU	Vacant Land and Wetlands
East	County EFU	Vacant Land
West	Heavy Industrial	Empty M-2 lots.

II. NATURE OF REQUEST AND GENERAL FACTS

The applicant, Parametrix, requests approval to replat three Heavy Industrial lots into two. The proposed replat would result in two lots. The properties are identified as Tax Lot 2000 and 2100 on Assessors Map 5N28A and Tax Lot 600 on Assessors Map 5N29B. The Replat will include a 100’ wide public road dedication for the extension of Wanapa Road. Amazon Data Services is the property owner.

The City’s Land Division Ordinance (LDO) does not directly address replat requests, however, Section 11-2-6(A) addresses land division approval criteria. Therefore, the City will process the request subject to the standards contained in Section 11-2-6 of the LDO similar to a subdivision or partition request.

III. ANALYSIS

The criteria applicable to this request are shown in underlined text and the responses are shown in standard text. All of the following criteria must be satisfied in order for this request to be approved.

CITY OF UMATILLA ZONING ORDINANCE

SECTION 10-5B-4: DEVELOPMENT STANDARDS: (Heavy Industrial, M-2)

Minimum lot width	80 feet
Minimum lot depth	100 feet
Minimum yard setbacks:	
Front yard	10 feet or 20 feet if adjacent to a residential district
Side yard	0 feet or 20 feet if adjacent to a residential district
Side street yard	10 feet or 20 feet if adjacent to a residential district
Rear yard	0 feet or 20 feet if adjacent to a residential district
Parking area	10 feet
Maximum building height	35 feet
Maximum site coverage (building, storage area, and impervious surface)	100 percent

Findings: The applicant is proposing to replat three existing lots into two (2) lots. Tax Lots 02000 and 02100 on Assessors Map 5N28A and Tax lot 00600 on Assessors Map 5N28B are currently zoned M-2. The result of the request will create 2 lots zoned M-2. The dimensional standards for the M-2 zone (Section 10-5B-4) is listed above for reference. Both of the proposed lots will exceed the minimum lot width and depth and area requirements. In addition, there is a lot in between the

two proposed lots that is not a part of the replat. This lot is not officially recorded as part of the Replat but will essentially create a third lot. This lot has been reviewed by staff and has been determined to meet the requirements of the M-2 zone.

Conclusion: The proposed lots exceed the minimum dimensional standards for new lots located in the M-2 zoning district.

CITY OF UMATILLA LAND DIVISION ORDINANCE

SECTION 11-2-6: LAND DIVISION APPROVAL CRITERIA:

No plat for a subdivision or partition may be considered for approval until the city has approved a tentative plan. Approval of the tentative plan shall be binding upon the city and the applicant for the purposes of preparing the subdivision or partition plat. In each case, the applicant bears the burden of proof to demonstrate that the proposal satisfies applicable criteria and standards.

A. Approval Criteria: Land division tentative plans shall only be approved if found to comply with the following criteria:

1. The proposal shall comply with the city's comprehensive plan.

Findings: The City of Umatilla's Zoning Ordinance (CUZO) and LDO implement the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO and LDO the request is considered to be consistent with the comprehensive plan.

Conclusion: The CUZO and LDO implement the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO and LDO the request is considered to be consistent with the comprehensive plan. This request is found to meet or be capable of meeting all of the applicable standards and criterion in the CUZO and LDO as addressed in this report.

2. The proposal shall comply with the I-82/U.S. 730 interchange area management plan (IAMP) and the access management plan in the IAMP (section 7) as applicable.

Findings: The interchange area management plan (IAMP) extends along U.S. Highway 730 from its intersection with U.S. Highway 395 west to Eisele Drive just west of the U.S. Post Office within City Limits. The properties are not within the IAMP area.

Conclusion: The properties are not located within the I-82/U.S. 730 Interchange Management Area. This criterion is not applicable.

3. The proposal shall comply with the city's zoning requirements.

Findings: The properties are located within the M-2 zoning district and the applicable City zoning requirements are addressed above. The proposed lots comply with all of the dimensional standards as addressed in this report.

Conclusion: Both of the proposed lots will meet the minimum dimensional standards as addressed in this report.

4. The proposal shall comply with the city's public works standards.

Findings: The City's public works standards are engineering design and safety standards for construction of streets, sidewalks, curbs, water/sewer lines, other utilities and for installation of improvements. It is anticipated that the purchaser will request permission to connect to City services at the time of development. The standards the proposed road will be built to is governed by the existing Wanapa Road extension agreement. The proposed extension of Wanapa Road is labeled as 100' Right-Of-Way to be dedicated to the public.

Conclusion: The proposal will result in a two (2) lots, and 100' Right-Of-Way to be dedicated to the public. New connections to City services and 100' Right-Of-Way will be required to meet the City's Public Works Standards in place at the time of the request.

5. The proposal shall comply with applicable state and federal regulations, including, but not limited to, Oregon Revised Statutes 92, 197, 227, and wetland regulations.

Findings: The CUZO and LDO implement the applicable provision of ORS 92, 197, 227. The subject property does not contain wetlands as shown on the National Wetlands Inventory (NWI) or figure 5-1.2 in the City's Comprehensive Plan. Except as implemented through the City's ordinance, applicable state and federal regulations will be required to be met as a condition of approval.

Conclusion: This request is found to meet or be capable of meeting all of the standards and criterion as addressed in this report, the proposal will comply with applicable state and federal regulations, as implemented through the City's ordinances. The applicant will be required as a condition of approval to comply with all other state and federal requirements.

6. The proposal shall conserve inventoried natural resource areas and floodplains, including, but not limited to, mapped rivers, creeks, sloughs, and wetlands.

Findings: There are known wetlands, as identified on the NWI, on the subject property. The applicant is aware of the wetlands and will be expected to follow Federal and State regulations in regards to the on-site wetlands. A delineation plan has been submitted with the Department of State Lands.

Conclusion: There are known wetlands, as identified on the NWI, on the subject property. A condition of approval will be to follow Federal and State regulations in regards to the on-site wetlands.

7. The proposal shall minimize disruption of natural features of the site, including steep slopes or other features, while providing for safe and efficient vehicle, pedestrian, and bicycle access.

Findings: The subject property is not identified as having slope in Figure 7.1-2 of the City of Umatilla's Comprehensive Plan. There are no other known natural features on the subject property. The proposed 100' proposed Right-Of-Way will be subject to the City of Umatilla's Public Works standards, upon construction, which provide for sufficient safe and efficient vehicle, pedestrian, and bicycle access.

Conclusion: The subject property has no inventoried natural features. The proposed 100' proposed Right-Of-Way will be subject to the City of Umatilla's Public Works standards, upon construction, which provide for sufficient safe and efficient vehicle, pedestrian, and

bicycle access.

8. The proposal shall provide adjacent lands with access to public facilities and streets to allow its full development as allowed by the City's codes and requirements.

Findings: The two (2) proposed lots located along Wanapa Road will have direct frontage and will have access to city services and public facilities. The new street proposed and all of the existing lots will maintain access to public facilities and streets that will allow for future development.

Conclusion: All of the proposed lots will have access to public facilities and streets.

9. The proposal shall be designed with streets that continue or connect to existing and planned land division plats on adjoining properties. All proposed streets shall comply with standards of this Title and the Public Works Standards.

Findings: The proposed street is labeled on the preliminary plat as "100' Road Right-Of-Way to be dedicated to the public. This is shown as an extension of Wanapa Road. The proposed Road will allow for the continuation of future land divisions. The proposed Road will not negatively affect any adjoining properties.

Conclusion: The proposed Road will be required to comply with the City of Umatilla Public Works Standards at the time of construction. The proposed Street is found to comply with the standards of this Title. The proposed Road will not negatively affect any adjoining properties.

11-4-2: STREETS:

The location, width, and grade of streets shall be considered in their relation to existing and planned streets, to topographical conditions, to public utilities, services, convenience, and safety, and to the proposed use of the land to be served by the streets. (Ord. 688, 6-15-1999)

A. Street Arrangement: The arrangement of streets in and serving land divisions shall:

1. Maximize public safety, access, and minimize out of direction travel by utilizing a grid system or comparable design.
2. Avoid cul-de-sacs, except where there is no other practical alternative to serve a portion of the land area to be divided, due to topographical conditions, existing development, or similar circumstances.
3. Provide for the continuation of existing streets in surrounding areas.
4. Conform to any future street plan, neighborhood plan, or other street plan adopted by the City.

Findings: The proposed street will be an extension of Wanapa Rd. This will maximize public safety, access, and minimize out of direction travel by utilizing a comparable design. There is no cul-de-sac proposed. There is not current street plan adopted by the City for the area of the proposed street.

Conclusion: The continuation of an existing street will allow for the above criteria to be met.

B. Street Layout And Design:

1. All streets, alleys, bicycle, and pedestrian pathways shall connect to other streets within the land division and to existing and planned streets outside the land division. Streets shall terminate at other streets or at parks, schools, or other public uses within a neighborhood.

2. Local streets shall align and connect with other streets when crossing streets with higher level classifications.

Findings: The proposed street will be connected to the existing Wanapa Rd. Wanapa Rd. currently connects with Beach Access Road and does not cross it.

Conclusion: The proposed street will connect to Wanapa Rd. which currently terminates at Beach Access Road.

3. Cul-de-sacs and flag lots shall only be permitted when the following conditions are demonstrated:

a. Existing conditions, such as topographic features, water features, an irrigation canal, a railroad, a freeway, or other condition, that cannot be bridged or crossed prevents the extension of a street.

b. The existing development pattern on adjacent properties prevents a street connection.

c. An accessway is provided consistent with the standards for accessways. (Ord. 673, 6-16-1998)

d. A minor street is not a suitable alternative to multiple flag lots (more than 2 adjacent flags) due to size of the site, topographic features, or other physical constraint. (Ord. 688, 6-15-1999)

4. Cul-de-sacs shall not exceed four hundred feet (400') in length.

Findings: No cul-de-sac is proposed as part of this application.

Conclusion: No cul-de-sac is proposed as part of this application. This Criterion is not applicable.

5. Where a land division includes or is adjacent to land that can be divided and developed in the future, streets, bicycle paths, and pedestrian ways shall continue through the full length of the land division to provide connections for the adjacent land.

6. Where proposed lots or parcels in a proposed land division exceed double the minimum lot size and can be redivided, the location of lot and parcel lines and other layout details shall be such that future land divisions may readily occur without interfering with the orderly extension of adjacent streets, bicycle paths, or pedestrianways. Any building restrictions within future transportation locations, such as future street rights of way or future street setbacks, shall be made a matter of record for the purpose of future land divisions.

Findings: The Subject property is the furthest east property within the City of Umatilla. The proposed road goes the furthest East that it can within the City of Umatilla. No land that is subject to the City of Umatilla's jurisdiction will be left without access. No land is landlocked by the Replat and creation of a new street.

Conclusion: The Tentative Subdivision Plan Map shows the street going the full length of the subdivision. No Landlocked parcels will be created.

7. Where there is a reasonable relationship between the impacts of the proposed development and the public need for accessways, such as direct connections to public schools or parks, the land divider shall be required to publicly dedicate accessways to:

- a. Connect to cul-de-sacs;
- b. Pass through oddly shaped or unusually long blocks; or
- c. Provide for networks of public pedestrian and bicycle paths; or
- d. Provide access to other transportation routes, businesses, residential, or public uses.

Findings: No alternative accessways are will be needed. This Criterion is not applicable.

Conclusion: No alternative accessways are will be needed. This Criterion is not applicable.

8. New construction or reconstruction of collector and arterial streets shall include bicycle facilities and pedestrian sidewalks as required by applicable city plans.

9. Sidewalks shall be installed along the street frontage of arterial and collector streets and for any street within a multi-family, commercial, or industrial land division by the land divider. Sidewalks on local streets within a subdivision for single-family residential lots shall be provided with the construction of a structure on the lot and shall be completed prior to occupancy of the structure.

10. An easement may be required to provide for all or part of sidewalks along one or both sides of a public right of way which lacks width to include sidewalks within the public right of way.

11. When a sidewalk in good repair does not exist, all applicants for building permits for a new structure or remodeling of more than a minor nature of an existing structure shall, in conjunction with the issuance of a building permit, obtain a permit to construct a sidewalk for the full frontage of the site. No final inspection or certificate of occupancy shall be issued for the building permit until a sidewalk has been constructed in accordance with the permit requirements

12. Off site pedestrian improvements may be required concurrent with a land division to ensure access between the land division and an existing developed facility such as a commercial center, school, park, or trail system. The approval authority must show a reasonable relationship between the impacts of the land division and the required improvement.

13. Structures are not allowed in any dedicated sidewalk areas which will obstruct movements on the sidewalk. The minimum widths of sidewalks shall conform to ADA standards.

14. Sidewalks generally shall be parallel to adjacent streets in line and grade, except where existing features or topographical conditions warrant an alternative design.

15. All sidewalks shall be adjacent to the curb as specified in the public works standards, unless impractical due to special circumstances of the site or adjacent street.

Findings: Public works standards as well as standards in this Title will be required to be met and enforced before the issuance of building permit.

Conclusion: Public works standards as well as standards in this Title will be required to be met and enforced before the issuance of building permit.

16. Street trees are required along both sides of new public streets, at a minimum of thirty feet (30') on center, with at least one tree for each new lot or parcel. Street tree locations shall be shown on construction plans and shall generally be located at the edge of the right of way. Street trees shall be required with building permits for structures on approved lots and shall be installed prior to approval of occupancy. (Ord. 673, 6-16-1998)

Findings: An existing construction agreement between the City of Umatilla and the applicant will be followed.

Conclusion: An existing construction agreement between the City of Umatilla and the applicant will be followed. This criterion is not applicable.

C. Right Of Way And Roadway Widths: Generally, right of way and roadway widths for state highways and county roads shall be determined by these entities. Unless otherwise determined by the city administrator based on the recommendation of the city engineer and public works director, the widths of streets and roadways shall meet the following standards and, in addition, all street construction shall conform to the public works standards: (Ord. 710, 5-7-2002)

Findings: The required roadway width for industrial uses is 60' with pavement minimum of 40'.

Conclusion: The proposed street will dedicate 100'. This exceeds the requirement and will allow for the above standards to be met.

SECTION 11-4-5: LOTS:

Lot and parcel size, shape, and orientation shall be consistent with the applicable zoning district and for the type of use contemplated. No lot or parcel dimension shall include the adjacent public right of way.

A. Through lots with public streets on both front and rear or both sides shall be avoided except when essential to provide separation of residential development from adjacent arterial or collector streets. An easement at least five feet (5') in width shall be located adjacent to the right of way and there shall be no right of access to the major street. A permanent barrier may be required along the right of way, within the easement.

Findings: None of the proposed lots are through lots.

Conclusion: The proposed lots are not through lots. This criterion is not applicable.

B. Lot and parcel side lot lines shall be at right angles to fronting streets or radius to curved streets to the extent practical, in order to create lots and parcels with building sites which are nearly rectangular.

Findings: The proposed lots are rectangular in shape to the extent possible.

Conclusion: Both of the proposed lots will create building sites which are nearly rectangular.

C. Lots shall have a width to depth ratio not to exceed 2.5.

Findings: As show on the preliminary plat all of the proposed lots will have a width to depth ratio that does not exceed 2.5.

Conclusion: The proposed lots will have a width to depth ratio that does not exceed 2.5.

D. All lots and parcels shall have a minimum street frontage on a public street of fifty feet (50'), except that lots or parcels fronting a cul-de-sac or curved street may have a minimum street frontage of forty feet (40'), so long as the minimum lot width required by the zoning district is provided at a distance equivalent to the required front yard setback.

Findings: All of the proposed lots will exceed fifty feet (50') of street frontage.

Conclusion: All of the resulting lots will exceed the minimum fifty feet (50') of street frontage.

E. Flag lots shall not be acceptable for land divisions, but may be approved if the following circumstances apply:

1. For one or two (2) lot land divisions when it is not practical to create or extend a public street or partial public street due to the nature of surrounding development.
2. When topographic conditions or other physical constraints make it impractical or infeasible to create or extend a public street.
3. When the size and shape of the site limit the possible arrangement of new lots or parcels and prevent the creation or extension of a public street.
4. When allowed, the flag portion of a new lot shall have a minimum width of fifteen feet (15') to accommodate a driveway a minimum of twelve feet (12') wide. Two (2) adjacent flag lots may reduce the street frontage and pole width to twelve feet (12') wide, if joint access easements are created and a driveway is provided with a minimum width of twenty feet (20').

Findings: No flag lots are proposed as part of this application.

Conclusion: No flag lots are proposed as part of this application. These criteria are not applicable.

IV. SUMMARY CONCLUSIONS AND DECISION

This request for tentative replat approval meets or is capable of meeting through appropriate conditions of approval the land division requirements of the City of Umatilla's LDO. Therefore, staff recommends this request (RP-2-20) to replat three (3) existing lot into two (2) be approved based on the findings of fact and conclusion contained in Section III of this report subject to the conditions of approval contained in Section V of this report.

V. CONDITIONS OF APPROVAL

1. A tentative plat must be submitted to the City of Umatilla, Umatilla County Surveyor and Umatilla County GIS Department for review prior to submitting the final plat.
2. Final plat approval must be obtained and recorded within one year from the date of this approval, as required by Section 11-3-1(A) of the Land Division Ordinance, unless the applicant applies for and receives approval of an extension as specified under Section 10-14-16 of the City of Umatilla Zoning Ordinance.
3. The final plat must comply with the requirements of ORS chapter 92 and the requirements in Sections 11-3-1 and 11-3-2 of the City of Umatilla Land Division Ordinance.
4. If any historic, cultural or other archaeological artifacts are discovered during construction and installation of any required improvements, the applicant/developer shall immediately cease construction activity and notify appropriate agencies including, but not necessarily limited to the City of Umatilla and the Confederated Tribes of the Umatilla Indian Reservation (CTUIR).
5. The Applicant must follow Federal and State procedures and regulations in regards to the on-site wetlands as inventoried on the NWI.
6. Failure to comply with the conditions of approval established herein may result in revocation of this approval.

7. The applicant shall submit a copy of the final recorded plat to the City of Umatilla.
8. The applicant shall obtain all federal, state and local permits or licenses necessary to record the final plat.

VI. EXHIBITS

Exhibit A Notice Map

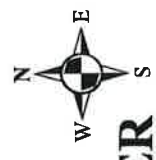
Exhibit B Preliminary Plat



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

PARAMETRIX REPLAT (RP-2-21)
PARAMETRIX-SCOTT C BOLDUC, APPLICANT
AMAZON DATA SERVICES, INC, PROPERTY OWNER
MAP #5N29B Tax Lot 600 & #5N28A Tax Lot 2000 & 2100.

Feet



Legend

- Subject Property
- 8-26-20
- City Limits
- Assessor's Maps



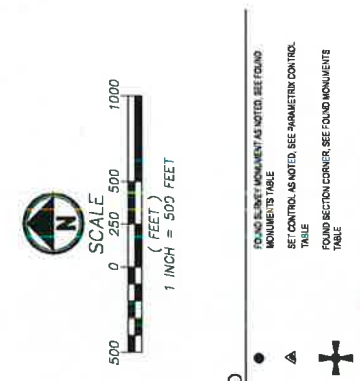
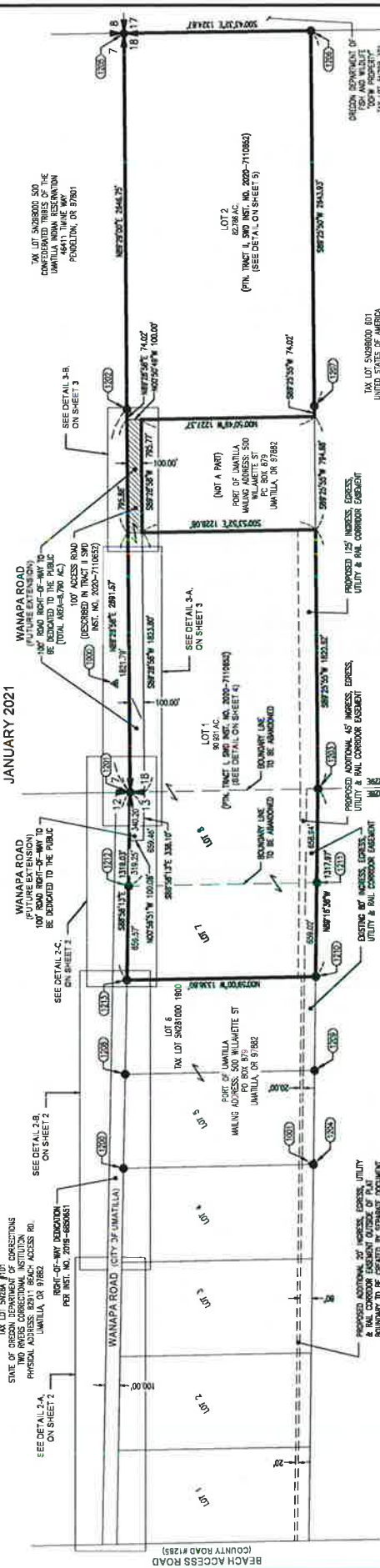
MAP DISCLAIMER: No warranty is made as to the accuracy, reliability or completeness of this data. Map should be used for reference purposes only. Not survey grade or for legal use. Created by Jacob Foutz, on 1/6/2021

TENTATIVE SUBDIVISION PLAN MAP - WANAPA SOUTH

INCLUDING A REPLAT OF LOT 7 (TAX LOT 5N28A02000) & LOT 8 (TAX LOT 5N28A02100) OF THE LONG SUBDIVISION AND TAX LOT 5N29B006000 LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 28 EAST AND THE NORTH ONE-HALF (N1/2) OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 28 EAST.

ALL OF THE WILLAMETTE MERIDIAN, CITY OF UMATILLA, UMATILLA COUNTY, OREGON

JANUARY 2021



PARAMETRIX CONTROL TABLE

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1000	852000.73	852277.01	519.51	SET 5/8 INCH IRON ROD WITH RED PLASTIC CAP STAMPED PM CONTROL
1001	823800.49	841900.15	507.71	SET 3/8 INCH IRON ROD

FOUND MONUMENTS TABLE

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1200	824942.0	851875.52	512.43	FOUND 2-1/4 INCH BRASS CAP STAMPED TSN ROBE 1/4 512 513 1988 RESET 2018 LS B51
1201	824884.88	852153.38	516.40	FOUND 3-1/2 INCH BRASS CAP IN CONCRETE STAMPED U.S. ENGINEER DISTRICT BOUNDARY MONUMENT PORTLAND DISTRICT TSN ROBE
1202	824916.88	852424.85	505.54	FOUND 3 INCH BRASS CAP STAMPED TSN ROBE 1/4 7 18 1981 LS B51
1203	823805.16	852153.37	516.70	FOUND 3-1/4 INCH ALUMINUM CAP ON 3/4 INCH IRON PIPE STAMPED U.S.D.O.E. BONNVILLE PWR. ADM. W/18 TSN ROBE 513 518 1984 LS B78
1204	823598.4	851889.68	508.42	FOUND 3-1/2 INCH ALUMINUM CAP ON 3/4 INCH IRON PIPE STAMPED U.S.D.O.E. BONNVILLE PWR. ADM. W/18 513 1984 LS B78
1205	824942.86	852580.58	515.55	FOUND 3-1/2 INCH BRASS CAP IN ROCK STAMPED TSN ROBE 1981 B51 5 B51
1206	823818.0	852598.37	513.73	FOUND 3-1/2 INCH BRASS CAP STAMPED U.S.D.O.E. BONNVILLE PWR. ADM. TSN ROBE W/18 COR B01 1984
1207	823871.82	852424.58	503.58	FOUND 5/8 INCH IRON ROD
1208	824830.28	851835.13	515.38	FOUND 5/8 INCH IRON ROD W/18 YELLOW PLASTIC CAP STAMPED URM MC OR PLS 2020
1209	823850.10	851835.58	511.81	FOUND 5/8 INCH IRON ROD
1210	823597.77	852071.51	510.26	FOUND 5/8 INCH IRON ROD
1211	823733.50	852078.48	516.74	FOUND 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP LLDBLE
1212	824885.54	852085.04	514.80	FOUND 1-1/2 INCH ALUMINUM CAP STAMPED APA OR 2848 WA 41285
1213	824918.46	8320194.57	519.39	FOUND 1-1/2 INCH ALUMINUM CAP STAMPED APA OR 2848 WA 41285

LEGEND

- FOUND MONUMENT AS NOTED, SEE FOUND MONUMENTS TABLE
- SEE CONTROL AS NOTED, SEE PARAMETRIX CONTROL TABLE
- FOUND SECTION CORNER, SEE FOUND MONUMENTS TABLE
- PROPOSED PLAT BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING LOT LINE TO BE ABANDONED
- EXISTING OR PROPOSED EASEMENT AS NOTED
- APPROXIMATE TOWNSHIP LINE
- ACCESS ROW AS DESCRIBED IN TRACT PL (SWS INST. NO. 2020-110862)

SURVEY PREPARED FOR:
SUBDIVISION (REPLAT) APPLICATION

Parametrix
 ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCES

150 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97702
 WWW.PARAMETRIX.COM

PKX JOB NO. 553-8117-008

SURVEYED BY: BRR/SMA
 DRAWN BY: BRR/SMA
 CHECKED BY: BRR
 APPROVED BY: SCB

SCALE: 1"=500'
 DATE: JANUARY 2021

SHEET NO. 1 OF 5

REGISTERED PROFESSIONAL LAND SURVEYOR
 Scott Bolduc
 No. 12345
 Oregon State Board of Professional Land Surveyors

SCOTT BOLDUC
 No. 75288
 Oregon State Board of Professional Land Surveyors

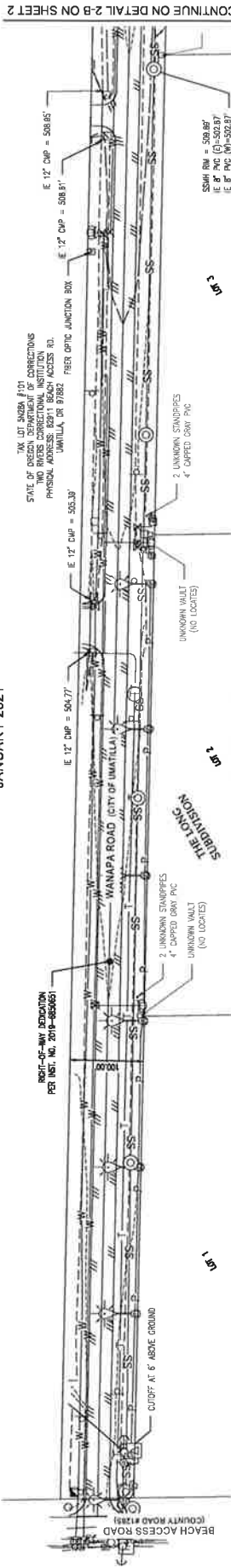
EXPIRES: 12/31/2021

TSN, R28E, W.M. TSN, R29E, W.M.

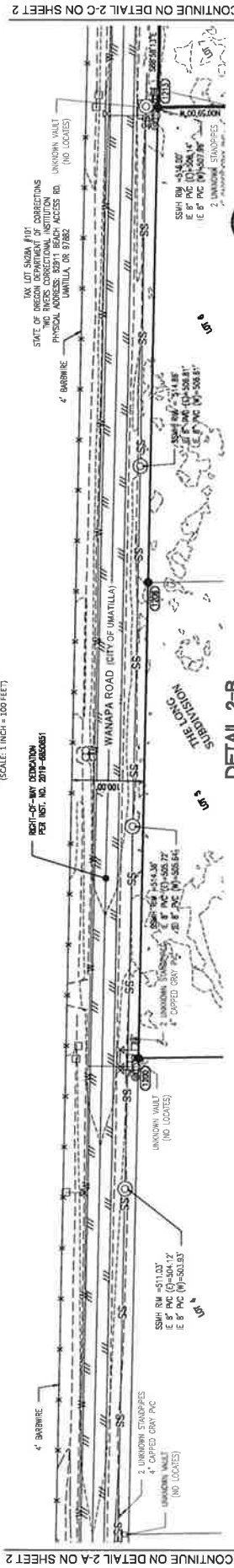
TENTATIVE SUBDIVISION PLAN MAP - WANAPA SOUTH

INCLUDING A REPLAT OF LOT 7 (TAX LOT 5N28A02000) & LOT 8 (TAX LOT 5N28A02100) OF THE LONG SUBDIVISION AND TAX LOT 5N29B00600 LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 28 EAST AND THE NORTH ONE-HALF (N1/2) OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 28 EAST, ALL OF THE WILLAMETTE MERIDIAN, CITY OF UMATILLA, UMATILLA COUNTY, OREGON

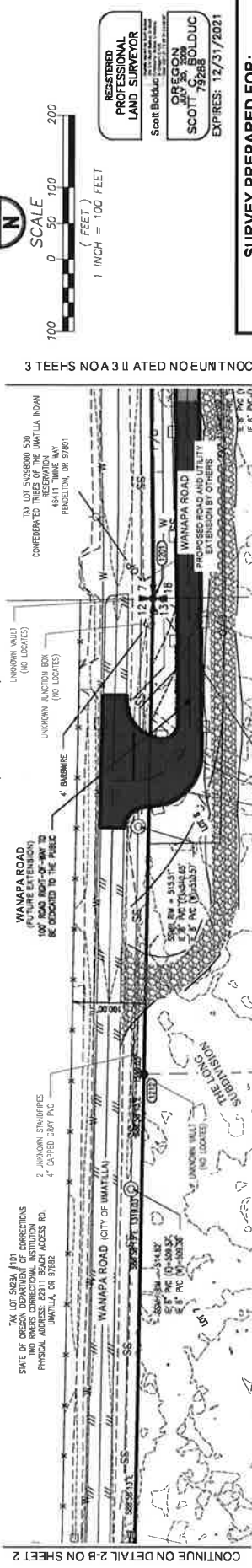
JANUARY 2021



DETAIL 2-A
(SCALE: 1 INCH = 100 FEET)



DETAIL 2-B
(SCALE: 1 INCH = 100 FEET)



DETAIL 2-C
(SCALE: 1 INCH = 100 FEET)

LEGEND

FOUND SURVEY MONUMENT AS NOTED; SEE FOUND ADJUSTMENTS TABLE ON THIS SHEET	SECTION & QUARTER SECTION LINE	WATER VALVE	TELEPHONE RISER
PARAMETRIX SURVEY CONTROL POINT NUMBER, SEE CONTROL TABLE ON THIS SHEET	SURVEY REFERENCE LINE	FIRE HYDRANT	GUY WIRE
FOUND SECTION CORNER, SEE FOUND MONUMENTS TABLE	EDGE OF CORNEL	STAND PIPE	POWER POLE
PROPOSED PLAT BOUNDARY	EXISTING FENCE	FRICTION VALVE	POWER POLE WITH LIGHT
EXISTING PROPERTY LINE	EDGE OF ASPHALT	WATER HOSE BIB	POWER POLE WITH LIGHT AND UNDERGROUND POWER
EXISTING OR PROPOSED EASEMENT, AS NOTED	WATER LOCATES	WATER MAIN/VALVE	
APPROXIMATE TOWNSHIP LINE	EDGE OF CONCRETE	WATER BLOWOFF VALVE	
	POWER LOCATES	POWER TRANSFORMER	
	OVERHEAD POWER	POWER JUNCTION BOX	
	SEWER LOCATES	SEWER CLEAN OUT	
	SEWER UNDERGROUND	SEWER MANHOLE	
		COMMUNICATION JUNCTION BOX	

WATER VALVE	WATER MAIN/VALVE	POWER TRANSFORMER	COMMUNICATION JUNCTION BOX
FIRE HYDRANT	WATER BLOWOFF VALVE	POWER JUNCTION BOX	
STAND PIPE	POWER TRANSFORMER	SEWER CLEAN OUT	
FRICTION VALVE	SEWER CLEAN OUT	SEWER MANHOLE	
WATER HOSE BIB	SEWER MANHOLE		
TELEPHONE RISER			

SURVEY PREPARED FOR:
SUBDIVISION (REPLAT) APPLICATION

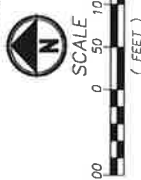
Parametrix
ENGINEERING • PLANNING • ENVIRONMENTAL SCIENCES
150 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97702
P 541.508.7710
WWW.PARAMETRIX.COM

DATE: JANUARY 2021

SCALE: 1"=100'

DATE: JANUARY 2021

REGISTERED PROFESSIONAL LAND SURVEYOR
Scott Bolduc
GARYSON SCOTT BOLDUC
7928B
EXPIRES: 12/31/2021



CONTINUE ON DETAIL 2-B ON SHEET 2

CONTINUE ON DETAIL 2-A ON SHEET 2

CONTINUE ON DETAIL 2-B ON SHEET 2

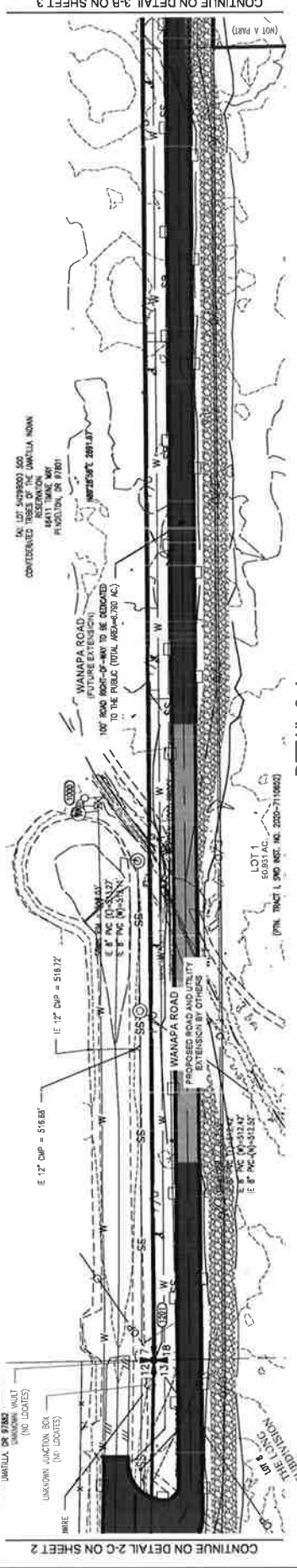
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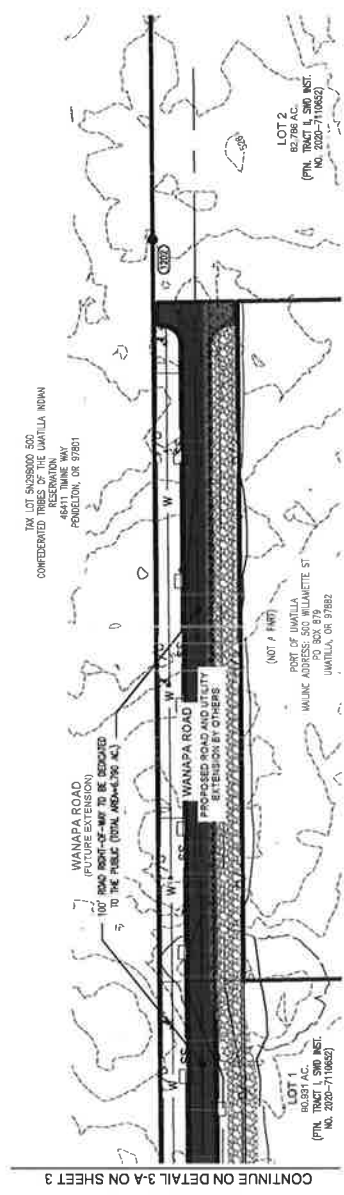
ALL OF THE WILLAMETTE MERIDIAN, CITY OF UMATILLA, UMATILLA COUNTY, OREGON
JANUARY 2021

TAX LOT 5N29A 1101
STATE OF OREGON
PHYSICAL ADDRESS: 48411 BEACH ACCESS RD
UMATILLA, OR 97166

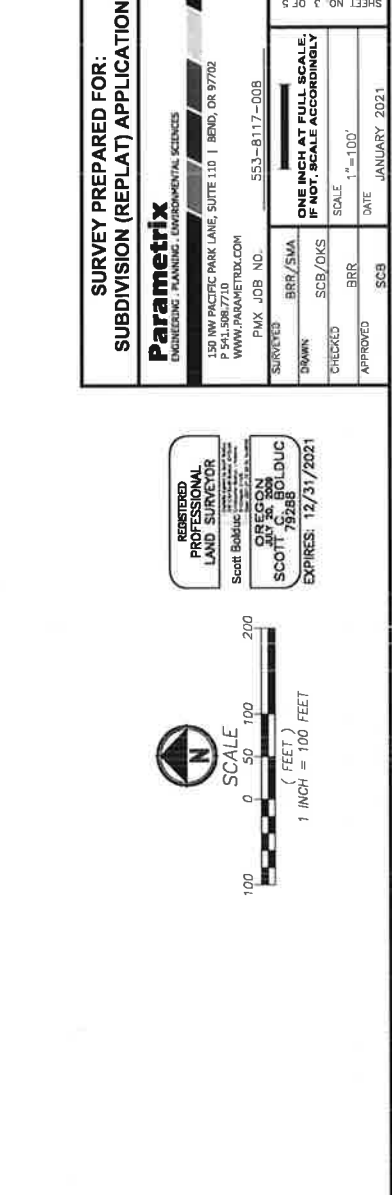
UNKNOWN JUNCTION BOX (N LOCATES)
WIRE (N LOCATES)
TAX LOT 5N29B006000
STATE OF OREGON
PHYSICAL ADDRESS: 48411 BEACH ACCESS RD
UMATILLA, OR 97166



DETAIL 3-A
SCALE: 1 INCH = 100 FEET

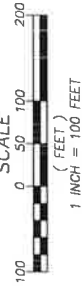


DETAIL 3-B
SCALE: 1 INCH = 100 FEET



LEGEND

- FOUND SURVEY MONUMENT AS NOTED, SEE FOUND MONUMENTS TABLE ON THIS SHEET
- ▲ PARAMETER SURVEY CONTROL POINT NUMBER, SEE CONTROL TABLE ON THIS SHEET
- FOUND SECTION CORNER, SEE FOUND MONUMENTS TABLE
- PROPOSED PLAT BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING LOT LINE TO BE ABANDONED
- EXISTING OR PROPOSED EASEMENT, AS NOTED
- APPROXIMATE TOWNSHIP LINE
- SECTION & QUARTER SECTION LINE
- SURVEY REFERENCE LINE
- EDGE OF GRAVEL
- EXISTING FENCE
- EDGE OF ASPHALT
- WATER LOCATES
- EDGE OF CONCRETE
- POWER LOCATES
- OVERHEAD POWER
- SEWER UNDERGROUND
- GAS LOCATES
- COMMUNICATIONS LOCATES
- FIBER OPTIC LOCATES
- STORMLINE
- CENTER OF JUNCTION
- BOLLARD
- WOOD POST
- SIGN
- SEWER CLEAN OUT
- WATER VALVE
- FIRE HYDRANT
- STAND PIPE
- IRRIGATION VALVE
- WATERHOSE BIB
- WATER MANHOLE
- WATER BLOWOFF VALVE
- POWER TRANSFORMER
- POWER JUNCTION BOX
- COMMUNICATION JUNCTION BOX
- TELEPHONE RISER
- GUY WIRE
- POWER POLE
- POWER POLE WITH LIGHT
- POWER POLE WITH LIGHT AND UNDERGROUND POWER



SURVEY PREPARED FOR:
SUBDIVISION (REPLAT) APPLICATION

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ENGINEERING PLANNING ENVIRONMENTAL SCIENCES

151 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97702
P 541.584.7710
WWW.PARAMETRIX.COM

PKAX JOB NO. 553-8117-008

SURVEYED: BRR/SMA
DRAWN: SCB/OKS
CHECKED: BRR
APPROVED: SCB

DATE: JANUARY 2021

SHEET NO. 3 OF 3

ONE INCH AT FULL SCALE, IF NOT, SCALE ACCORDINGLY

SCALE: 1"=100'

REGISTERED PROFESSIONAL LAND SURVEYOR
Scott Bolduc
JULY 20, 2009
SCOTT 9238 BOLDUC
EXPIRES: 12/31/2021

CONTINUE ON DETAIL 3-B ON SHEET 3

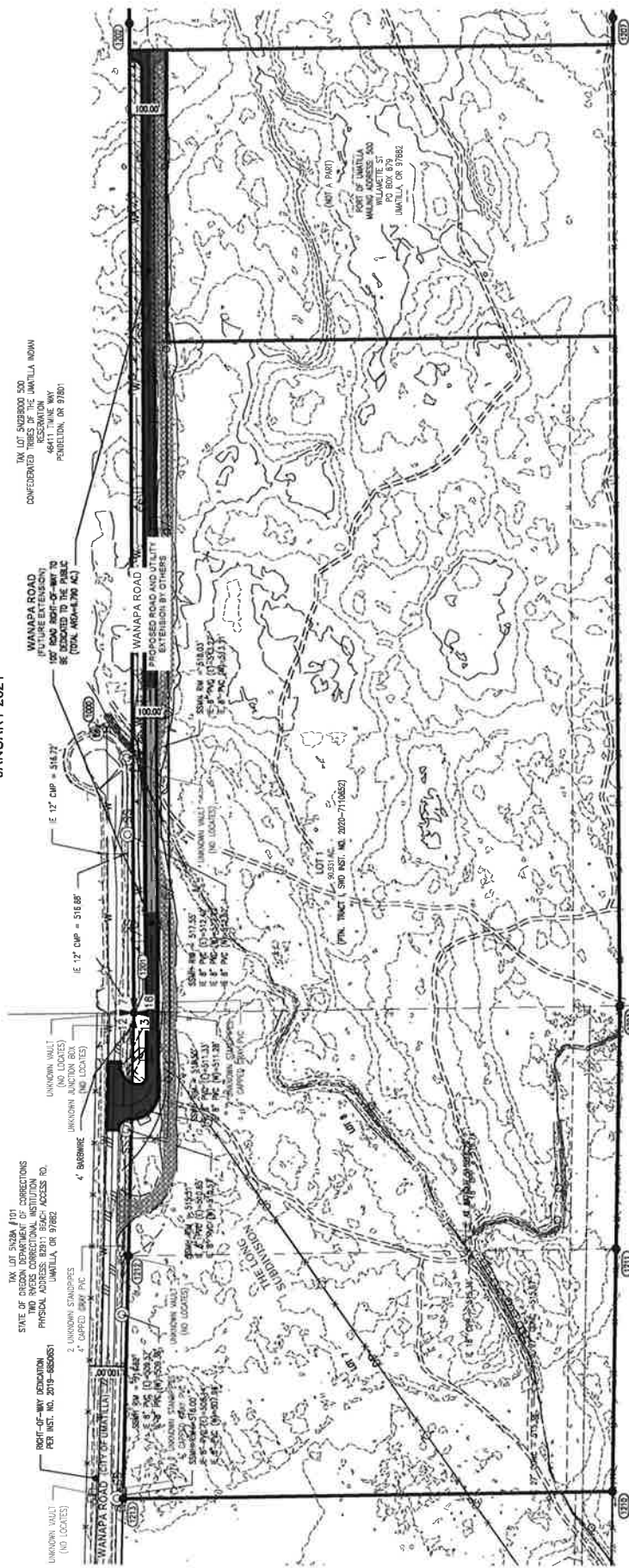
CONTINUE ON DETAIL 3-A ON SHEET 3

CONTINUE ON DETAIL 2-C ON SHEET 2

TENTATIVE SUBDIVISION PLAN MAP - WANAPA SOUTH

INCLUDING A REPLAT OF LOT 7 (TAX LOT 5N28A02000) & LOT 8 (TAX LOT 5N28A02100) OF THE LONG SUBDIVISION AND TAX LOT 5N29B006000 LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 28 EAST AND THE NORTH ONE-HALF (N1/2) OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 29 EAST.

ALL OF THE WILLAMETTE MERIDIAN, CITY OF UMATILLA, UMATILLA COUNTY, OREGON
JANUARY 2021



TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 1
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
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WANAPA ROAD
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PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
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UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 2
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 3
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 4
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 5
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 6
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
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PROPOSED ROAD AND UTILITY
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UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
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ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 7
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

UNKNOWN VALLEY
(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LOT 8
TAX LOT 5N28B000 500
CONSIDERED THINGS OF THE UMATILLA INDIAN
TRIBE
46411 TUMBLE WAY
PENNINGTON, OR 97801

WANAPA ROAD
IMPROVED ROAD AND UTILITY
PROPOSED ROAD AND UTILITY
BE EXCEDED TO THE PUBLIC
(TOTAL AREA=4.790 AC)

WANAPA ROAD
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(NO LOCATES)
UNKNOWN JUNCTION BOX
(NO LOCATES)
4' BARRIERS

TAX LOT 5N29A000 1000
STATE OF OREGON DEPARTMENT OF CORRECTIONS
TRIO INMATE CORRECTIONAL INSTITUTION
PHYSICAL ADDRESS: 18971 856th ACCESS RD.
UMATILLA, OR 97886

ROCK-OF-WAY DEVELOPMENT
PER INST. NO. 2019-8820051
2 UNKNOWN STANDPIPES
2 COPPED 100' PVC

LEGEND

●	FOUND SURVEY MONUMENT AS NOTED. SEE FOUND MONUMENTS TABLE ON THIS SHEET	—	5" AND PIPE
▲	PARAMETRIX SURVEY CONTROL POINT NUMBER, SEE CONTROL TABLE ON THIS SHEET	—	IRIGATION VALVE
+	FOUND SECTION CORNER. SEE FOUND MONUMENTS TABLE	—	WATER HOSE BIB
—	PROPOSED PLAT BOUNDARY	—	WATER MANHOLE
—	EXISTING PROPERTY LINE	—	WATER BLOWOFF VALVE
—	EXISTING LOT LINE TO BE ABANDONED	—	POWER TRANSFORMER
—	EXISTING OR PROPOSED EASEMENT, AS NOTED	—	POWER JUNCTION BOX
—	APPROXIMATE TOWNSHIP LINE	—	COMMUNICATION JUNCTION BOX
—	SECTION & QUARTER SECTION LINE	—	TELEPHONE RISER
—	SURVEY REFERENCE LINE	—	GUY WIRE
—	EDGE OF GRAVEL	—	POWER POLE
—	EXISTING FENCE	—	POWER POLE WITH LIGHT
—	EDGE OF ASPHALT	—	POWER POLE WITH LIGHT AND UNDERGROUND POWER
—	WATER LOCATES	—	

FOUND SURVEY MONUMENT AS NOTED. SEE FOUND MONUMENTS TABLE ON THIS SHEET

PARAMETRIX SURVEY CONTROL POINT NUMBER, SEE CONTROL TABLE ON THIS SHEET

FOUND SECTION CORNER. SEE FOUND MONUMENTS TABLE

PROPOSED PLAT BOUNDARY

EXISTING PROPERTY LINE

EXISTING LOT LINE TO BE ABANDONED

EXISTING OR PROPOSED EASEMENT, AS NOTED

APPROXIMATE TOWNSHIP LINE

SECTION & QUARTER SECTION LINE

SURVEY REFERENCE LINE

EDGE OF GRAVEL

EXISTING FENCE

EDGE OF ASPHALT

WATER LOCATES

5" AND PIPE

IRIGATION VALVE

WATER HOSE BIB

WATER MANHOLE

WATER BLOWOFF VALVE

POWER TRANSFORMER

POWER JUNCTION BOX

COMMUNICATION JUNCTION BOX

TELEPHONE RISER

GUY WIRE

POWER POLE

POWER POLE WITH LIGHT

POWER POLE WITH LIGHT AND UNDERGROUND POWER



REGISTERED PROFESSIONAL LAND SURVEYOR

SCOTT BOBOLIC

OR OREGON

SCOTT BOBOLIC

EXPIRES: 12/31/2021

SURVEY PREPARED FOR:

SUBDIVISION (REPLAT) APPLICATION

Parametrix

ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCES

150 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97702

P 541.508.7210

WWW.PARAMETRIX.COM

PMX JOB NO. 553-8117-008

SURVEYED	BRB/SMA
DRAWN	SCB/OAKS
CHECKED	BRB
APPROVED	SCB

ONE INCH AT FULL SCALE, IF NOT SCALE ACCORDINGLY

SCALE 1" = 200'

DATE JANUARY 2021

SHEET NO. 4 OF 5

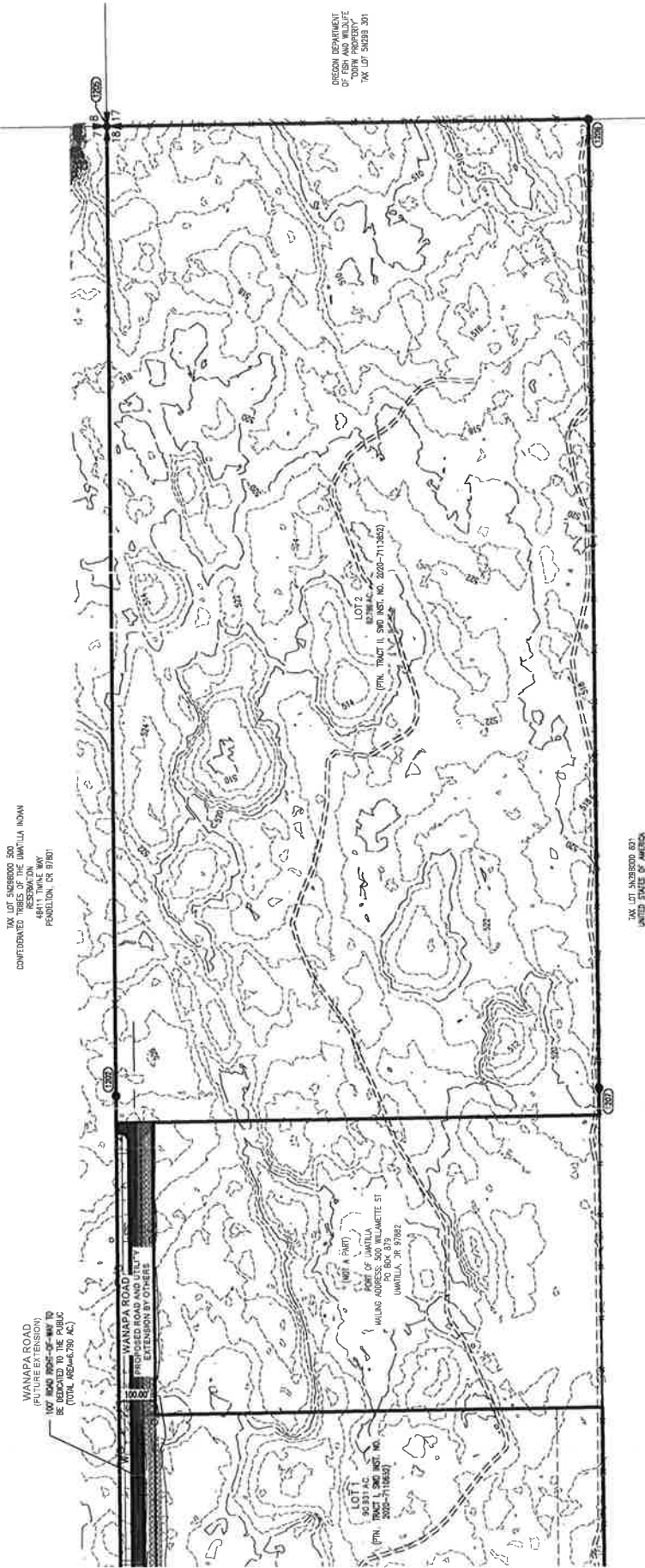
TAX LOT 5N29A000 1000
UNITED STATES OF AMERICA

TAX LOT 5N29A000 1000
UNITED STATES OF AMERICA

TENTATIVE SUBDIVISION PLAN MAP - WANAPA SOUTH

INCLUDING A REPLAT OF LOT 7 (TAX LOT 5N28A02000) & LOT 8 (TAX LOT 5N28A02100) OF THE LONG SUBDIVISION AND TAX LOT 5N29B00600 LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 13, TOWNSHIP 5 NORTH, RANGE 28 EAST AND THE NORTH ONE-HALF (N1/2) OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 29 EAST.

ALL OF THE WILLAMETTE MERIDIAN, CITY OF UMATILLA, UMATILLA COUNTY, OREGON
CITY OF UMATILLA
JANUARY 2021



DESIGN DEPARTMENT
CITY OF UMATILLA
TAX LOT 5N29B 301

TAX LOT 5N28B00 500
CONFEDERATED TREES OF THE UMATILLA INDIAN RESERVATION
4841 TUMBLE WAY
PENDLETON, OR 97801

WANAPA ROAD
(FUTURE EXTENSION)
(107' AND 10' FRONT-OF-HAVY TO BE REDUCED TO THE PUBLIC
(TOTAL 117' FRONT-OF-HAVY)

WANAPA ROAD AND UTILITY
EXTENSION BY OTHERS

LOT 7
TAX LOT 5N28A02000
(P.M. TRACT II, S.W. 1/4, SEC. 13, T. 5N, R. 28E)

POINT OF UMATILLA
WILLAMETTE ST
TO BE A PART OF
UTILITY EXTENSION BY OTHERS

LEGEND

●	FOUND SURVEY MONUMENT AS NOTED, SEE FOUND MONUMENTS TABLE ON THIS SHEET	—	EDGE OF CONCRETE	⊕	STAND PIPE
▲	PARAMETRIX SURVEY CONTROL POINT NUMBER, SEE CONTROL TABLE ON THIS SHEET	—	POWER LOCATES	⊗	IRRIGATION VALVE
+	FOUND SECTION CORNER, SEE FOUND MONUMENTS TABLE	—	OVERHEAD POWER	⊙	WATER-HOSE END
—	PROPOSED PLAY BOUNDARY	—	SEWER UNDERGROUND	⊖	WATER MANHOLE
—	EXISTING PROPERTY LINE	—	GAS LOCATES	⊕	WATER BLOWOFF VALVE
—	EXISTING LOT LINE TO BE AMENDED	—	COMMUNICATIONS LOCATES	⊕	POWER TRANSFORMER
—	EXISTING OR PROPOSED EASEMENT, AS NOTED	—	FIBER OPTIC LOCATES	⊕	POWER JUNCTION BOX
—	APPROXIMATE TOWNSHIP LINE	—	STORM LINE	⊕	COMMUNICATION JUNCTION BOX
—	SECTION 1/4 QUARTER SECTION LINE	—	ROLLAND	⊕	TELEPHONE RISER
—	SURVEY REFERENCE LINE	—	WOOD POST	⊕	GUY WIRE
—	EDGE OF GRAVEL	—	IRON	⊕	POWER POLE
—	EXISTING FENCE	—	SEWER CLEAN OUT	⊕	POWER POLE WITH LIGHT
—	EDGE OF ASPHALT	—	SEWER MANHOLE	⊕	POWER POLE WITH LIGHT AND UNDERGROUND POWER
—	WATER LOCATES	—	WATER VALVE	⊕	
—		—	FIRE HYDRANT	⊕	



REGISTERED
PROFESSIONAL
LAND SURVEYOR
Scott Bolduc
No. 10000
July 25, 2008

OREGON
JULY 25, 2008
SCOTT BOLDUC
75248
EXPIRES: 12/31/2021

SURVEY PREPARED FOR:
SUBDIVISION (REPLAT) APPLICATION

Parametrix

ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCES

150 NW PACIFIC PARK LANE, SUITE 110 | BEND, OR 97702
P: 541.508.7710
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P.V.X. JOB NO. 553-8117-008

DRAWN	BRE/SVA
CHECKED	SCB/DKS
APPROVED	BRB
DATE	SCB

ONE INCH AT FULL SCALE,
IF NOT, SCALE ACCORDINGLY

SCALE 1"=200'
DATE JANUARY 2021

SHEET NO. 5 OF 5



Oregon

Kate Brown, Governor

Department of State Lands

775 Summer Street NE, Suite 100

Salem, OR 97301-1279

(503) 986-5200

FAX (503) 378-4844

www.oregon.gov/dsl

State Land Board

September 23, 2020

Port of Umatilla
Attn: Kim Puzey
P.O. Box 879
Umatilla, OR 97882

Kate Brown
Governor

Re: **WD # 2019-0561 Approved**
Wetland Delineation Report for Conforth Site
Umatilla County; T5N R28E S13 TLs 1900, 2000, and 2100;
T5N R29E S18 TL 600

Bev Clarno
Secretary of State

Tobias Read
State Treasurer

Dear Mr. Puzey:

The Department of State Lands has reviewed the wetland delineation report prepared by Western Ecosystems Technology, Inc., for the site referenced above. Based upon the information presented in the report, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in revised Figure 5 of the report. Please replace all copies of the preliminary wetland maps with these final Department-approved maps.

Within the study areas, 3 wetlands (Wetlands W2, W3, and W4), 3 ponds (W9, W10, and W11), and 3 ditches (W6, W7 and W8) were identified. The wetlands (totaling approximately 7.0 acres) and ponds are subject to the permit requirements of the state Removal-Fill Law. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in wetlands or below the ordinary high-water line (OHWL) of the waterway (or the 2-year recurrence interval flood elevation if OHWL cannot be determined). The ditches are exempt per OAR 141-085-515(9).

This concurrence is for purposes of the state Removal-Fill Law only. We recommend that you attach a copy of this concurrence letter to any subsequent state permit application to speed application review. Federal or local permit requirements may apply as well. The U.S. Army Corps of Engineers will determine jurisdiction under the Clean Water Act, which may require submittal of a complete Wetland Delineation Report.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045 (available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. If you have any questions, please contact the Jurisdiction Coordinator for Umatilla County, Matt Unitis, at (503) 986-5262.

Sincerely,



Peter Ryan, SPWS
Aquatic Resource Specialist

Enclosures

ec: Troy Rintz, Western EcoSystems Technology, Inc.
City of Umatilla Planning Department (Maps enclosed for updating LWI)
Brad Johnson, Corps of Engineers
Heidi Hartman, DSL
Joy Vaughan, ODFW

WETLAND DELINEATION / DETERMINATION REPORT COVER FORM

Fully completed and signed report cover forms and applicable fees are required before report review timelines are initiated by the Department of State Lands. Make checks payable to the Oregon Department of State Lands. To pay fees by credit card, go online at: <https://apps.oregon.gov/DSL/EPS/program?key=4>.

Attach this completed and signed form to the front of an unbound report or include a hard copy with a digital version (single PDF file of the report cover form and report, minimum 300 dpi resolution) and submit to: **Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279**. A single PDF of the completed cover form and report may be e-mailed to: **Wetland_Delineation@dsl.state.or.us**. For submittal of PDF files larger than 10 MB, e-mail DSL instructions on how to access the file from your ftp or other file sharing website.

Contact and Authorization Information	
<input checked="" type="checkbox"/> Applicant <input type="checkbox"/> Owner Name, Firm and Address: Port of Umatilla PO Box 879 Umatilla, OR 97882	Business phone # Mobile phone # (optional) (541) 379-9700 E-mail: kimpuzey@intergra.net
<input type="checkbox"/> Authorized Legal Agent, Name and Address (if different):	Business phone # Mobile phone # (optional) E-mail:
I either own the property described below or I have legal authority to allow access to the property. I authorize the Department to access the property for the purpose of confirming the information in the report, after prior notification to the primary contact.	
Typed/Printed Name: <u>Kim Puzey</u> Signature: _____ Date: <u>10/08/2019</u> Special instructions regarding site access: _____	
Project and Site Information	
Project Name: <u>Conforth Site</u>	Latitude: <u>45 55.238</u> Longitude: <u>-119 14.312</u> decimal degree - centroid of site or start & end points of linear project
Proposed Use:	Tax Map # Tax Lot(s) <u>1021</u>
Project Street Address (or other descriptive location):	Tax Map # Tax Lot(s)
City: _____ County: <u>Umatilla</u>	Township <u>T5N</u> Range <u>28 & 29E</u> Section <u>13 & 18</u> <u>QQ</u> Use separate sheet for additional tax and location information
Waterway/Ponds <u>W9, W10, W11</u> River Mile: _____	
Wetland Delineation Information	
Wetland Consultant Name, Firm and Address: Western EcoSystems Technology, Inc. 2725 NW Walnut Blvd Corvallis Or 97330	Phone # Mobile phone # (if applicable) (307) 421-8437 E-mail: trintz@west-inc.com
The information and conclusions on this form and in the attached report are true and correct to the best of my knowledge.	
Consultant Signature: <u>Troy Rintz</u> Date: <u>10/08/2019</u>	
Primary Contact for report review and site access is <input checked="" type="checkbox"/> Consultant <input checked="" type="checkbox"/> Applicant/Owner <input type="checkbox"/> Authorized Agent	
Wetland/Waters Present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Study Area size: <u>226</u> acres Total Wetland Acreage: <u>7,000</u>	
Check Applicable Boxes Below	
<input type="checkbox"/> R-F permit application submitted	<input checked="" type="checkbox"/> Fee payment submitted \$ <u>454</u>
<input type="checkbox"/> Mitigation bank site	<input type="checkbox"/> Resubmittal of rejected report (\$100)
<input type="checkbox"/> EFSC/ODOE Proj. Mgr: _____	<input type="checkbox"/> Request for Reissuance. See eligibility criteria. (no fee)
<input type="checkbox"/> Wetland restoration/enhancement project (not mitigation)	DSL # _____ Expiration date _____
<input type="checkbox"/> Previous delineation/application on parcel If known, previous DSL # <u>WD2006-0421</u>	<input type="checkbox"/> LWI shows wetlands or waters on parcel Wetland ID code _____
For Office Use Only	
DSL Reviewer: <u>MU</u>	Fee Paid Date: <u>10</u> / <u>11</u> / 2019
Date Delineation Received: <u>10</u> / <u>9</u> / <u>19</u>	Scanned: <input type="checkbox"/> Electronic: <input checked="" type="checkbox"/> DSL App.# _____

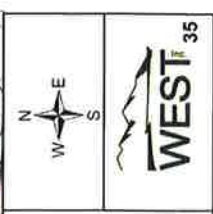
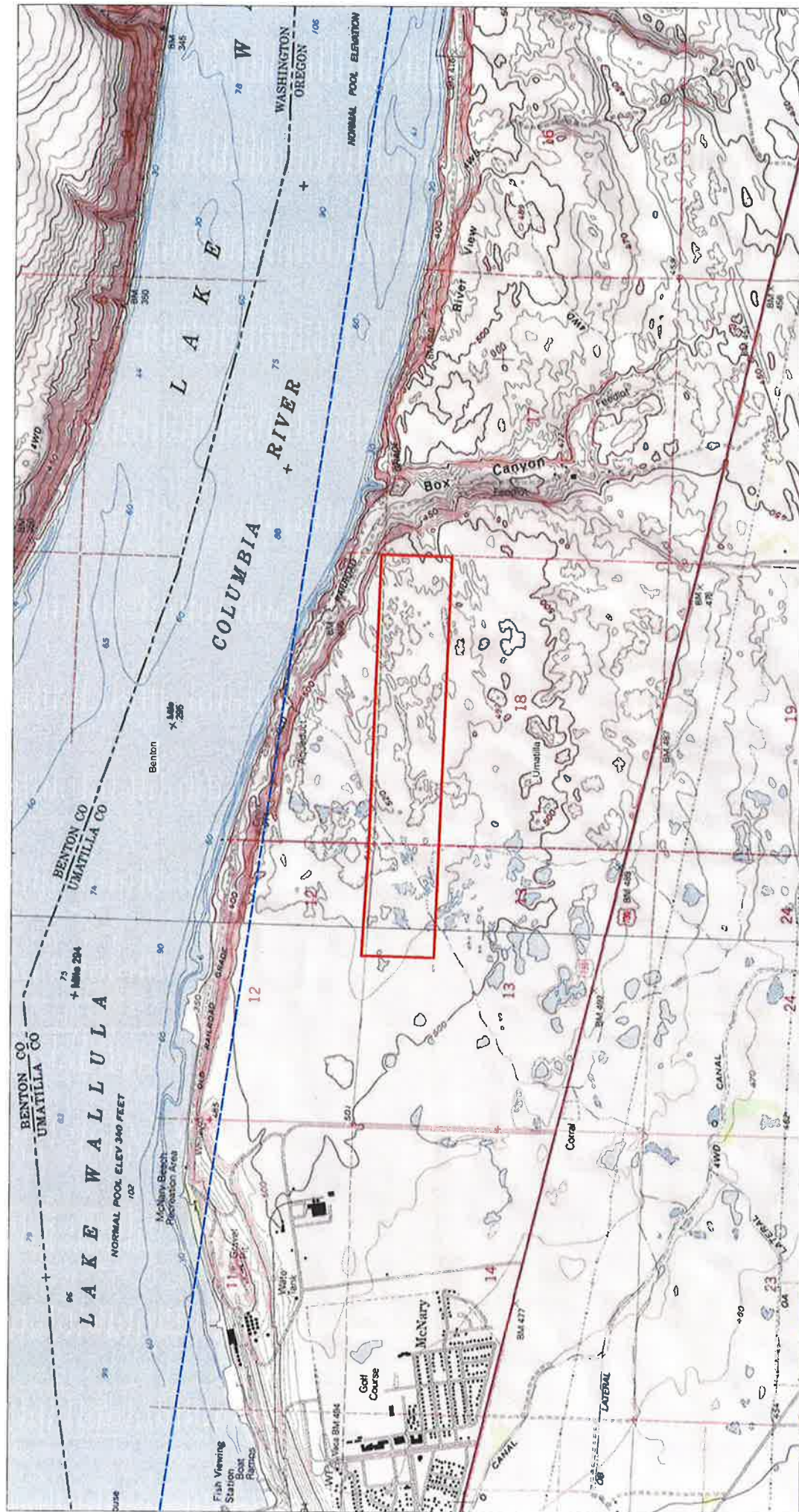
Conforth Site

Table 4. Wetlands documented within Conforth Site.

Unique Id	Area (Acres)	Cowardin HGM	Sample Plots	Photo Points	Additional Information for JD	Access Yes/No
U1	NA	UPL	Yes	Yes	NWI identified but did not meet criteria.	Yes
W2	0.2523	PEM	Yes	Yes	Wetlands associated with irrigation ditch.	Yes
W3	4.5987	PEM	Yes	Yes	Wetlands associated with irrigation ditch.	Yes
W4	2.1504	PEM	Yes	Yes	Wetlands associated with irrigation ditch.	Yes
U5	NA	UPL	Yes	Yes	NWI identified but did not meet criteria.	Yes

Table 5. Other Waters (perennial/intermittent) documented within the Conforth Site Survey Area.

Unique ID	Flow Regime ¹	ESH Yes/No	OHWM Width (ft)	Additional Information for JD	Access Yes/No
W6	Perennial	No	5	Artificial ditch	Yes
W7	Perennial	No	5	Artificial ditch	Yes
W8	Intermittent	No	1	Artificial ditch	Yes
W9	Intermittent	No	NA	Ponded feature	Yes
W10	Intermittent	No	NA	Ponded feature	Yes
W11	Intermittent	No	NA	Ponded feature	Yes



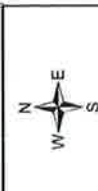
Appendix A
 Figure 1
 Location Map
 Umatilla County
 Page 1 of 1

Conforth Site
 Umatilla, OR

Data Source : USA Topo Map
 Coordinate System: NAD 83 UTM Zone 11
 Date: 10/2/2019
 Author: Troy Rintz



Study Boundary
 County



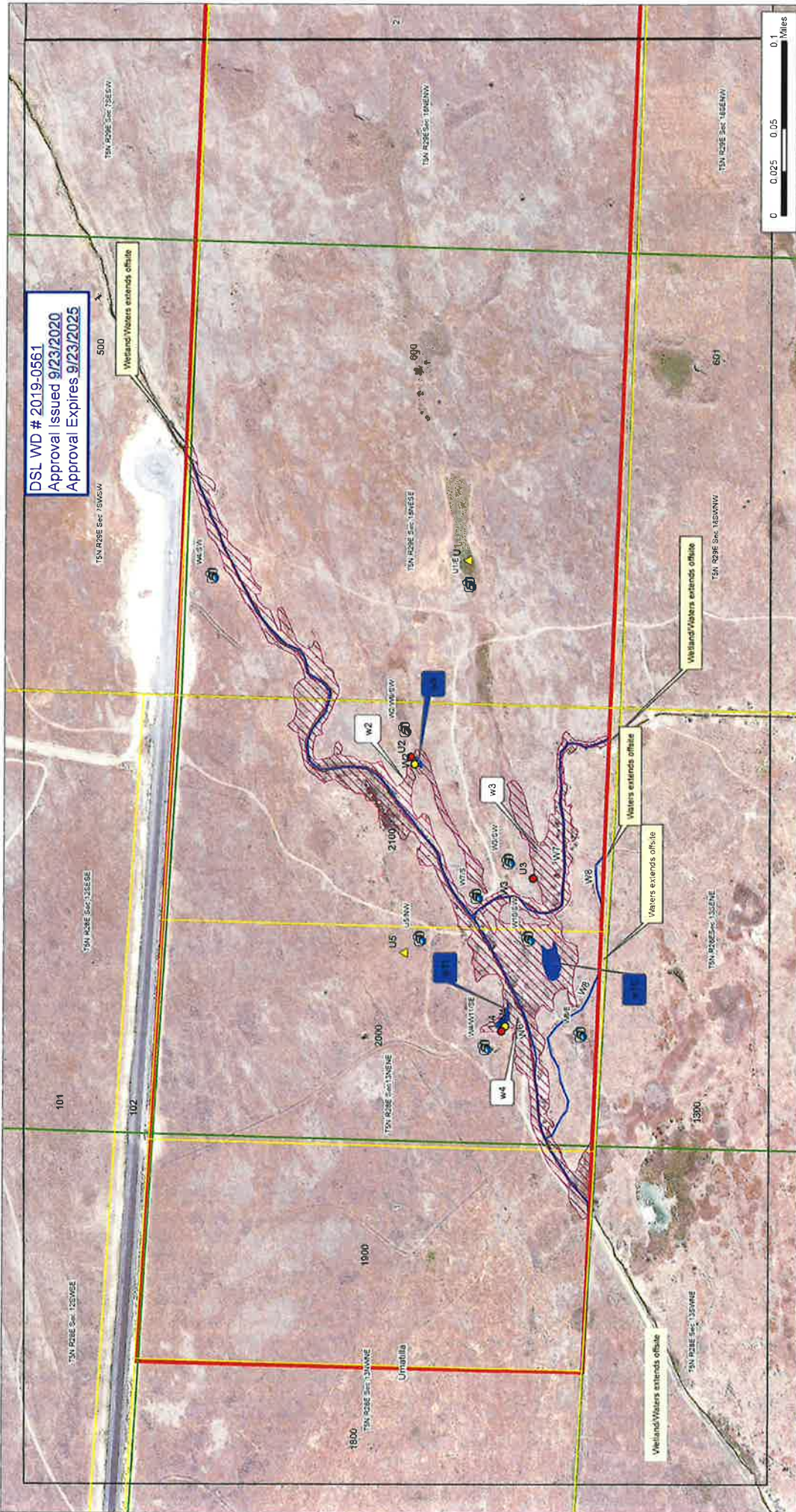
Appendix A
Figure 2
Tax Lot Map
Umatilla County
Page 1 of 1

Study Boundary
 Study Boundary
 Tax Lots
 Public Land Survey System
 County

**Conforth Site
Umatilla, OR**
 Data Source: USA Topo Map
 Coordinate System: NAD 83 UTM Zone 11
 Date: 1/7/2020
 Author: Troy Rintz



DSL WD # 2019-0561
 Approval issued 9/23/2020
 Approval Expires 9/23/2025



Scale: 0 0.025 0.05 0.1 Miles

North Arrow

WEST INC. 37

Appendix A
 Figure 5
 Aerial, Wetland Delineation, and Non-wetland Waters
 Umatilla County
 Page 1 of 2

OHWL (Maximum width is 5 ft)

Public Land Survey System

Study Boundary

Determined non-wetland

- Wetland Soil Pit
- Unpland Soil Pit
- Photo Location/Direction
- Open Water
- Wetland Boundary
- Tax Lot

Conforth Site
 Umatilla, OR

Data Source : World Imagery
 Coordinate System: NAD 83 UTM Zones 11
 Date: 2/20/2020
 Author: Trey Rintz



The boundaries of all wetlands were surveyed by walking the perimeter of each wetland and recording the track with a hand-held GPS with sub-foot accuracy (Trimble Geo 7X). Locations of sample points were also documented with the GPS unit.

All delineated wetlands and non-wetland waters are considered to extend to outside of the Study Boundary unless otherwise depicted on map.



DSL WD # 2019-05661
Approval Issued 9/23/2020
Approval Expires 9/23/2025

WEST INC 38

Appendix A
Figure 5
Aerial, Wetland Delineation, and Non-wetland Waters
Umatilla County
Page 2 of 2

All delineated wetlands and non-wetland waters are considered to extend to outside of the Study Boundary unless otherwise depicted on map

OHWL (Maximum width is 5 ft)

Sheet Boundary
Public Land Survey System
Study Boundary
Determined non-wetland

Wetland Soil Pit
Unpland Soil Pit
Photo Location/Direction
Open Water
Wetland Boundary
Tax Lot

Conforth Site
Umatilla, OR

Data Source: World Imagery
Coordinate System: NAD 83 UTM Zone 11
Date: 2/20/2020
Author: Troy Rintz

