

UMATILLA CITY PLANNING COMMISSION
MEETING AGENDA
April 24, 2018 - 6:30 P.M.
Umatilla City Hall, Council Chambers

- I. CALL TO ORDER & ROLL CALL

- II. APPROVAL OF MINUTES: March 27, 2018 minutes

- III. UNFINISHED BUSINESS: None
 - A. **Bunn Conditional Use CU-3-18:** The applicant, Steve Bunn, requests approval to establish a pool hall including similar recreational/amusement services.

- IV. NEW BUSINESS:
 - A. **Zayo Conditional Use CU-4-18:** The applicant, Zayo Group LLC, requests approval to establish fiber optic lines primarily within existing rights of way. Fiber optic lines are considered a community services use under Chapter 6 of the City of Umatilla Zoning Ordinance which requires conditional use approval. The proposed fiber optic lines would be installed underground within existing rights of way of Brownell Boulevard, Columbia Boulevard, Willamette Avenue, Riverside Avenue, Wildwood Lane, Roxbury Road, Beach Access Road, Umatilla River Road, Lind Road, Highway 730 and Highway 395.

- V. DISCUSSION ITEMS:
 - A. DLCD Guidance on implementing ADUs (SB 1051)

- VI. INFORMATIONAL ITEMS:

- VII. ADJOURNMENT

Umatilla City Hall is handicapped accessible. Special accommodations can be provided for persons with hearing, visual, or manual impairments who wish to participate in the meeting by contacting City Hall at (541) 922-3226 or by using the TTY Relay Service at 1-800-735-2900 at least 24 hours prior to the meeting so that appropriate assistance can be arranged.

**CITY OF UMATILLA
PLANNING COMMISSION
March 27, 2018
Draft Minutes
COUNCIL CHAMBERS**

- I. **CALL TO ORDER:** Planning Commission, Vice Chair, Sipe called the meeting to order at 6:30 p.m.

ROLL CALL:

- A. **Present:** Vice Chair, Heidi Sipe, Commissioners Jodi Hinsley, Kelly Nobles, and Craig Simson.
- B. **Absent:** Ramona Anderson.
- C. **Late arrival:** Chair, Lyle Smith.
- D. **Staff present:** Community Development Director, Tamra Mabbott, City Planner Brandon Seitz, Community Development Coordinator, Esmeralda Horn and RARE volunteer/GIS, Matt Tsui.

- II. **APPROVAL OF MINUTES:** For February 27, 2018.
Motion to approve minutes for February 27, 2018 by Commissioner Simson.
Commissioner Hinsley seconded the motion. Voted: 3-0. Motion carried.

- III. **UNFINISHED BUSINESS:** None

IV. **NEW BUSINESS:**

- A. **Fastrack Replat request RP-1-18:** The applicant, Fastrack Inc., requests approval to replat three existing lots Tract E, Tract D and Tract C, within the Virginia's Place subdivision.

Vice Chair Sipe, opened the public hearing for RP-1-18 at 6:36pm. Vice Chair, Sipe, read the procedures for the public hearing. Chair, Sipe, requested the staff report from City Planner, Brandon Seitz.

City Planner, Brandon, stated the applicant is requesting to replat three existing lots, tax lot 3500-3700. Request is likely contingent upon approval of the applicant's plan amendment that is going before City Council. This replat would result in 6 more lots for development. All criteria have been met including minimum lot size.

Jared Faris, 4803 Catalonia Drive Pasco, WA 99301, representing the applicant. Jared states he has had nothing but good experience working with the City of Umatilla and residents complementing his worked. He would love the replat to be approved as he has received offers from local fishermen and golfers.

Vice Chair, Sipe, called for public testimony;
No testimony in support, opposition, neutral or rebuttal.

Vice Chair, Sipe, called for a motion. Motion to close the hearing by Commissioner Simson. Motion was second by Commissioner Hinsley. Voted: 3-0. Motion carried. No further discussion.

Motion to approve made by Commissioner Simson, motion was second by Commissioner Hinsley. Voted: 3-0. Motion carried.

- B. Fastrack Replat request RP-2-18:** The applicant, Fastrack, Inc., requests approval to replat 56 existing lots within the Orchard Terrace Addition subdivision.

City Planner Brandon, states applicant requests to replat existing 56 lot subdivision. The subdivision was originally established in the 70's and only Monroe Street was developed. Request would reconfigure existing easements to match intended use and construction plans. Approximately 8 lots would be reconfigured to create a new street to allow access onto Powerline Road. Not an ideal location, but better than the existing right of way. Applicant is also increasing rights of way within Elm Court to meet current City standard. Applicant has received an access permit from County for new access point onto Powerline Road and all lots meet minimum City standards. Access permit granted by County is attached in commissioner's packets.

Jared Faris, 4803 Catalonia Drive Pasco, WA 99301, representing the applicant. Applicant stated Brandon summed up his intention to replat. Establishing an access point was difficult so losing lots to make it safer was a stand they needed to take and are not gaining anything but losing lots in the midst of the process.

Vice Chair, Sipe, opened for testimony;

Testimony in support-None.

Testimony in opposition:

Shanda Williams, 300 Monroe St Umatilla, OR 97882. Shanda distributed her speech to audience and commission members that read:

Hello. My name is Shanda Williams and I live at 300 Monroe St., here in Umatilla, which is on the east corner of Powerline and Monroe. My family and I have lived here for 12 years and 3 months. I've also been a successful Realtor in the area since June of 2006. On average I sell about 44 homes a year. The national average in sales for Realtors is 13. The reason I'm here this evening is to discuss the subdivision, known as the Orchard Terrace Addition, that is being put in right next to my properties northern line and the location of the exit and entrance to this subdivision. It is my understanding that there are going to be about 56 new homes built in that subdivision. As a home owner that lives right next to the subdivision, I'm not too excited about it going in because I believe it is going to block our river views. But as a successful Realtor, I understand our great need for these homes. I'm not here to try and block any of the builder's progress. What I am here for is to ask you to please NOT ALLOW the entrance and exit to this subdivision to be right on Powerline Road and here's why. In the 12 plus years that we've lived here, there have been four very serious accidents & two not

so serious accidents on that corner. The most recent accident happened on Saturday, March 17th, 2018, at about 2:00 pm. That was just two Saturdays ago. In addition to this accident happening, one early morning, about 3:00 am a drunk driver totaled three vehicles and an RV on our property; another incident was a man on a motorcycle hit gravel, spun out and went flying in to the undeveloped field (now going to be the subdivision), flew off his motorcycle and died instantly (my husband was the first one to him and saw him die) and finally another drunk driver flew off the hill just around the corner on Powerline where the walk path is. Fortunately, she walked away from that wreck. The not so serious accidents were one, a farm truck heading north on Powerline, was filled with watermelons, he lost several large boxes of watermelons and they came flying all over our property and damaged a couple of our vehicles and lastly a young man took out our front yard fence. (Please see the attached pictures of two of the wrecks.) When the neighbor just North of us, in the doublewide, put his home there, we understood that he was supposed to run his driveway down to Stephens (he actually told my husband this). He didn't do that. He just went ahead and put his driveway out on to Powerline. Now we have this subdivision doing the exact same thing. The traffic on this corner is terrible as it is. For years I have turned my blinker on before even going up around the corner, just to let drivers behind me know that I will be turning left after we go around the corner. And then I say a prayer that they see my blinker. When our children, all three of them, were learning to drive, I taught them the same thing. Any family members that I've ridden with, I've told them to do the same as well. We've been very fortunate not to have any fender benders or terrible wrecks ourselves. We are also fortunate that the way our driveway sits, we can back around on our property and leave our property going head first on to Powerline instead of having to back out. However, if we ever need to maneuver any trailers around in our driveway, we must go out on to Powerline and block traffic. It's quite nerve racking to have to do that. All of this has happened and it's just us few households living here. Can you imagine what's going to happen when we have another 50 plus households leaving from that corner? You know there will be at minimum of one vehicle per house. But more than likely there will be two or more. And that's not counting the visitors that these homeowners have. That's 100 plus vehicles entering and exiting on to that corner on any given day at any given time. It's my understanding that the original subdivision plans called for these homes to exit through the Stephens area subdivision and the east end of Monroe. When exiting from Stephens there's a longer, straighter section to be able to see the oncoming traffic when exiting. And Monroe Street is well established, so drivers are used to it, and drivers not turning on that corner can at least be around the corner when someone is turning on to Monroe. When I started telling people that I was going to come here and speak, they told me that you wouldn't listen to me unless I provided solutions for you and had facts to present. Here's the thing, planning a subdivision or location of a driveway is not my specialty. I didn't go to college to learn how to do that. As you all are on the planning commission, I would think & hope that public safety would be a big concern of yours when considering approval of land changes. And I understand that you all can't be everywhere, all the time when growth is taking place. But since I live right next door to this new subdivision, I have firsthand knowledge about what takes place on that corner for the last 12 plus years. I want to thank you all for taking the time to hear me and I plead that you take my request under serious advisement. I look forward to helping fill this subdivision and helping our great town grow. I just want to know that the families I help buy these homes, are safe.

Vice Chair, Sipe, asked if there were any neutral testimony?

Jimmie, 428 Stephens Ave Umatilla, OR 97882. Resident has question for the applicant in regards to houses going into the subdivision if the homes will be smaller or larger and how will they address the issue of sub terrain irrigation problems?

Krystle Wyant, 130 Van Buren Umatilla, OR 97882. Resident has concerns regarding pedestrian safety and wants to know how the entrance of the subdivision will address these issues?

Duane Sidebottom, 328 Monroe Umatilla, OR 97882. Resident has question to the applicant in regards to the slop on his property and how they will address it.

Dave Wickstrom, 500 Monroe Umatilla, OR 97882. Resident would like to comment in regards to right of way on new subdivision is a much safer access point than Monroe. The new right of way will allow people coming out of the street to see both North and South traffic. In his opinion that is much safer.

Maureen Drace, 428 Tucker Umatilla, OR 97882. Resident wanted to state her opinion in regards to the access on Powerline not being equipped to handle 100+ more cars. She feels it would be very hazardous to pedestrian's. Mrs. Drace also has concern regarding rumors of a barricade going up to block Tucker Street.

City Planner, Brandon Seitz, wanted to comment that public dedicated roads that are not City or County roads are often not maintained by either jurisdiction. City cannot take on roads that are not brought up to City standards first. As far as the barricade-no public rights of way will be barricaded.

Vice Chair, Sipe, invited Fastrack's representative to approach the podium to address resident's questions.

Jared, representative for Fastrack stated: In regards to Jimmie's question homes will be larger and as far as the sub terrain irrigation problem, engineer stated there is no issue and feels comfortable and confident with that decision. In regards to Krystle Wyants question regarding entrance to subdivision and pedestrian safety, Jared, stated it is all mapped out on construction plans and would be built up to City standards. Entrance will have sidewalks, curbs, and gutters-including ADA accessible ramps. All which have been approved. In regards to Mr. Sidebottom, slope raises no issue with engineer. In regards to Mrs. Drace, City Planner Brandon, answered her question above in regard to the barricade.

Commissioner, Noble, wanted to thank all who gave testimony and understands their legitimate concerns.

Commissioner, Smith, suggested a flashing light on that corner on Powerline, but understands it is the County's responsibility to do so.

Vice Chair, Sipe, understands this is an ongoing issue with the County vs. City. She understands as a City we cannot solely fix the issue but wanted to let it be known that she does expect and request with the added revenue both the City and County are receiving it is time that they come together and get Powerline fixed. It has been an ongoing issue and goal for 20 years and its about time for action.

Vice Chair, Sipe, called for a motion. Motion to close the hearing by Commissioner Nobles. Motion was second by Commissioner Smith. Voted: 4-0. Motion carried. No further discussion.

Motion to approve made by Commissioner Nobles, motion was second by Commissioner Simson. Voted: 4-0. Motion carried.

- C. **City of Umatilla Plan Amendment PA-2-18:** A request by the City of Umatilla to co-adopt Umatilla County Ordinance No. 2017-09 approving an exception to Statewide Planning Goal 11 for a sewer line extension from the City of Umatilla to the Umatilla Army Depot.

City Planner, Brandon Seitz, states in anticipated of the Depot transferring to local ownership the Columbia Development Authority (CDA) coordinated with Umatilla County and the City of Umatilla to allow the City to provide sewer services to the Depot. A sewer line is needed in order to more efficiently serve planned land uses on the Depot, which were the subject of the prior Goal Exceptions to allow redevelopment with a mix of industrial and military uses after the Depot transfers to the CDA.

Umatilla County has since adopted Ordinance No 2017-09 approving an exception to Statewide Planning Goal 11 for a sewer line extension from the City of Umatilla to the Umatilla Army Depot. The County's action is needed because the land through which the sewer line will pass between, the City of Umatilla's UGB and the Depot, is County resource land. The City's action is needed because the sewer facility that is the subject of the Goal Exception will belong to the City. A Goal 11 exception is necessary because Goal 11 generally does not allow the extension of sewer lines to serve land outside an UGB.

Vice Chair, Sipe, called for testimony in opposition, support, neutral testimony, or rebuttal. None

Vice Chair, Sipe, called for a motion. Motion to close the hearing by Commissioner Simson. Motion was second by Commissioner Smith. Voted: 4-0. Motion carried.

- D. **City of Umatilla Conditional Use CU-2-18 & Site Plan Review SP-2-18:** The applicant, City of Umatilla, requests approval to add an approximately 2,000 square foot storage building on the property. The subject property is located directly south of the police station located at 300 6th Street Umatilla.

City Planner, Brandon Seitz, stated Police Department request to put a new storage building inside adjoining property which is fenced and graveled. All criteria have been met. Please keep in mind square footage might change depending on budget.

Vice Chair, Sipe, called for testimony in opposition, support, neutral testimony, or rebuttal. None

Vice Chair, Sipe, called for a motion. Motion to close the hearing by Commissioner Hinsley. Motion was second by Commissioner Smith. Voted: 4-0. Motion carried.

- E. **Bunn Conditional Use CU-3-18:** The applicant, Steve Bunn, requests approval to establish a pool hall including similar recreational/amusement services.

City Planner, Brandon Seitz, states applicant proposes a pool hall with dart boards and other recreational games and would include serving food and beer. Current zoning allows alcohol to be served as long as it is not the primary use/attraction of the business. Currently our City code does not allow any business that primarily serves alcohol to be located within 500 feet of a school or library. In Mr. Bunn's case the proposed primary service of the business is recreational activities. Mr. Bunn's current business is considered a non-conforming use and he is allowed to continue the use of the existing gentleman's club. If the applicant's conditional use is approved he would discontinue operation of the gentleman's club. Part of the conditional use for the pool hall would require an annual review to ensure it is still operating under its' conditional use approval.

Commissioner, Nobles, would like to know how City Planner Brandon would conduct his review-what criteria would be reviewed and how will he grade it. He also stated he feels waiting a year prior to the first review is too long he would request something more along the lines of monthly or semi-annually.

City Planner, Brandon, states he could look at bookkeeping records to indicate what are the sales alcohol vs pool etc. He noted that it would be a judgement call on his behalf. If time allows he feels semi-annual review can be accommodated as the business starts and then move it to an annual review.

Steve Bunns, 1201 6th St Umatilla, OR 97882, applicant wanted to state that he cannot predict what people will go to his business and purchase just like he cannot predict the behavior and to have that as a stipulation is silly as that is not a stipulations for Riverside and he was there the other night and in one night he saw the cops there five times. He stated he doesn't need the Planning Commission to act as his parents and what they are doing is not okay he is a grown man who has been in business for years and since the start of his interest in doing business in the City he has felt harassed. He feels that the City does a great job running business away. Applicant stated he is only giving the residents what they want and that is a local place to hang out eat food and have a beer without driving 10 miles south.

Commissioner, Hinsely, wanted to know the hours of operation. Mr. Bunn stated 8pm – 2am.

Commissioner, Smith, wanted to know what types of alcohol would be served. Mr. Bunn stated a limited selection of beer only-no hard alcohol.

Vice Chair, Sipe, called for testimony in opposition, support, neutral testimony, or rebuttal. None

Vice Chair, Sipe, called for a motion. Motion to continue the hearing by Commissioner Nobles. Motion was second by Commissioner Hinsely. Voted: 4-0. Motion carried.

Chair Smith, wanted to add that he understands this is something the public wants and he doesn't want to push Mr. Bunn away. So many residents want the strip clubs out he sees this as an opportunity to do so.

Vice Chair, Sipe, wanted to add that if this was an allowed use in the zone there would be no need to come to planning commission. It is because it is a conditional use that requires the proper channels of action for this particular business.

DISCUSSION ITEMS:

A. Urbanism Next Conference

Matt attended conference in Portland focus was on technology and how it will affect all communities. Main focus is how driverless cars are coming and can affect our street scape.

Smith wanted to know how much longer Matt is with us? Until end of July.

II. INFORMATIONAL ITEMS:

Ethics link has been emailed to everyone please make sure to submit report.

Commissioners want to let city council know that measures need to be made to make Powerline a safer road. Heidi states she has been hearing this for 19 years and would like the City Council to make Powerline a priority.

Planning commission has concerns regarding Powerline and would like the City to take safety measures seriously.

III. ADJOURNMENT

8:14pm

**CITY OF UMATILLA PLANNING COMMISSION
REPORT AND RECOMMENDATION
FOR
CONDITIONAL USE CU-3-18**

DATE OF HEARING: April 24, 2018

REPORT PREPARED BY: Brandon Seitz, City Planner

I. GENERAL INFORMATION AND FACTS

Applicant: Steve Bunn, 1201 6th Street, Umatilla, OR 97882.

Property Owners: Lamond & Diane Collier, Steve Bunn (Agent), 1201 6th Street, Umatilla, OR 97882-9515.

Land Use Review: Conditional Use to establish a new use/business on the property.

Property Description: Township 5N, Range 28E, Section 17BD, Tax Lot 800.

Location: The subject property is located at 1201 6th Street, Umatilla, OR 97882.

Existing Development: The applicant currently operates an 18 and older gentlemen’s club on the property. The existing business was approved as a condition use in 2014 (CU-2-2014).

Proposed Development: The applicant intends to cease operation of the gentlemen’s club and open a pool hall with dart boards and video gambling machines.

Zone Downtown Commercial (DC).

Adjacent Land Use(s):

Adjacent Property	Zoning	Use
North	DC	Residential dwellings
South	DC	Vacant restaurant building and parking lot
East	DC	Vacant lot
West	DC	Vacant lot

II. NATURE OF REQUEST AND GENERAL FACTS

The applicant, Steve Bunn, is requesting approval of a pool hall with additional recreation/amusement games. The request includes the serving of beer and food. Uses allowed within the DC zone are classified by a general category with reference to the North American Industry Classification System (NAICS). Other amusement and recreation industries are allowed in the DC zone as a conditional use with reference to NAICS code 7139. NAICS code 7139

includes a subcategory of “all other amusement and recreation industries”. Uses under this subcategory are described as “establishments primarily engaged in providing recreation and amusement services” and includes billiard or pool parlor.

The DC zone does not allow “beer, wine and liquor stores” or “alcoholic beverage drinking places” within 500 feet of a public school. However, there are uses allowed within the DC zone that may include the sale of alcohol that are not subject to a locational restriction (i.e. they may be located within 500 feet of a school) if the sale of alcohol is secondary/incidental to the primary use. For example, a convenience store or restaurant would not be subject to a locational restriction and may include the sale of alcohol. This is relevant to the applicant’s request because in the DC zone any use where the serving of alcoholic beverages is the primary service/attraction the use is considered to be an alcoholic beverage drinking place and would not be allowed within 500 feet of a school (see Exhibit B showing the location of the subject property and 500 foot buffer). Therefore, the Planning Commission must determine if the applicant’s request is primarily a pool hall or if the request is more accurately categorized as an alcoholic beverage drinking place. Planning Staff has made the determination that the request may be permitted as a pool hall and may include the sale of beer, provided the permit includes specific conditions of approval to which the owner would be subject.

III. ANALYSIS

The criteria applicable to this request are shown in underlined text and the responses are shown in standard text. All of the following criteria must be satisfied in order for this request to be approved.

CUZO 10-12-1: AUTHORIZATION TO GRANT OR DENY:

A. Approval Criteria: The applicant shall carry the burden of proof in demonstrating that the following review criteria are satisfied, in addition to any specific criteria and standards in this Chapter, other applicable chapters of this Title, and this Code. If any of the following criteria and other applicable standards cannot be satisfied by requiring conditions with the approval, the use shall be denied:

1. Applicable Plans: The conditional use application complies with applicable policies of the Umatilla City Comprehensive Plan.

Findings: The CUZO implements the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO the request is considered to be consistent with the comprehensive plan.

Conclusion: This request is found to meet or be capable of meeting all of the applicable standards and criteria in the CUZO as addressed in this report.

2. Code Provisions: The proposal complies with all applicable provisions of this Code, including, but not limited to, provisions of this Chapter, the base district, and site review, as well as any other applicable provisions of this Code.

Findings: This report outlines the applicable provision of the CUZO. If the request is found to meet all of the criteria addressed in this report the request will comply with this standard.

Conclusion: The request is found to comply with all of the applicable criteria of the CUZO as addressed in this report.

3. Use Characteristics: If the proposed use is a community service, application shall include evidence to demonstrate that the proposed use is needed within the community to provide a social or technical benefit.

Findings: The request is not a community service use. The applicant intends to establish a pool hall with pool tables, dart boards and video gambling machines. The applicant also intends to restrict the age limit to 21+ due to the gambling machines and state laws. The use will include the serving of beer and bar foods.

Conclusion: The proposed use is not a community service use. This criterion is not applicable.

4. Site Characteristics: The site is appropriate for the proposed use, considering, but not limited to, the following factors: neighboring land use, adequacy of transportation facilities and access, site size and configuration, adequacy of public facilities.

Findings: The property is currently operated as an 18 and older gentleman's club. The change of use of the property is not anticipated to increase the impacts to neighboring land uses, transportation facilities, access or site size/configuration. The applicant will be required to submit a Site Plan Review application to ensure compliance with the City's site design criteria and standards for nonresidential development. The applicant previously addressed these standards when establishing the current use, however, site review is required when changing the use of the property.

Conclusion: The request would allow a new business to be established within the existing building. As noted above the current building met all of the applicable criteria when the current use of the property was approved in 2014. The applicant will be required to submit a Site Review application prior to operating the new business.

5. Impacts On The Neighborhood: Potential impacts on neighboring properties shall be identified. Mitigating measures shall be identified for unavoidable adverse impacts.

6. Impacts On The Community: Potential impacts on the community shall be identified, including, but not limited to, public facilities, land supply within the particular zoning district, impact on housing, etc. Potential benefits of a proposed use may outweigh potential impacts, but such benefits and impacts should be identified. Unavoidable adverse impacts should be mitigated to the extent possible.

Findings: The property is abutted by vacant property to the east and west. Residences to the north are separated by the ally and south of the property is a parking lot that currently serves a vacant building. The applicant did not identify any known impacts to neighboring properties and has indicated the impacts are anticipated to be less than the existing gentleman's club.

Conclusion: Staff did not identify any unavoidable adverse impacts that would result from the proposed use. Unless evidence to the contrary is provided the proposed use is anticipated to produce impacts similar to the current use of the property. The current business has operated since 2014 with limited impacts to surrounding properties.

IV. SUMMARY AND RECOMMENDATION

The applicant, Steve Bunn, is requesting approval of a conditional use to establish a new use/business on the property. The request appears to meet all of the applicable criteria and standards for this type of use. Therefore, based on the information in Sections I and II of this report, and the above criteria, findings of fact and conclusions addressed in Section III, staff recommends approval of Conditional Use, CU-3-18, subject to the conditions of approval contained in Section V.

NOTE: The existing gentleman's club is considered an adult entertainment business and is no longer an allowed use in the DC. If the gentleman's club is discontinued for one year any future uses of the property must comply with the current zoning. To clarify if the gentleman's club is discontinued for a period of one year the uses will no longer be allowed on the property per Section 10-10-3 of the CUZO.

V. CONDITIONS OF APPROVAL

1. The applicant must obtain all federal, state and local permits or licenses prior to operating the business including but not limited to a Site Plan Review application for the new use of the property.
2. The applicant must obtain approval from the Oregon Liquor Control Commission prior to serving alcohol.
3. The applicant shall comply with all City regulations in the Municipal Code governing the use of signs for the business.
4. A conditional use approval may only be transferred to a new property owner or business operator after approval by the Planning Commission. Any significant change in the use, or any material changes in city regulations governing the use prior to a transfer request will require new conditional use approval.
5. The applicant must establish the proposed use within one year of the date of the final approval unless the applicant applies for and receives an extension prior to the expiration of the approval.
6. Failure to comply with the conditions of approval established herein may result in revocation of this approval.
7. Alcohol sales must be secondary to the primary use of the property as a pool hall. Therefore, the applicant must maintain at least 51% of the floor space, open to the public, for recreation/amusement games.

VI. EXHIBITS

Exhibit A – Public notice map

Exhibit B – Map with 500-foot proximity

Exhibit C – Proposed floor plan

PROPERTY OWNERS WITHIN 100'
NOTICE AREA
FROM SUBJECT PROPERTY

MAP	TAXLOT	OWNER
5N2817AC	2200	BONBRIGHT GEORGE & HEIDI (TRS)
5N2817AC	2300	MATHEWS FRANCES R
5N2817BD	500	BEST JOHN R & DEVONNAL
5N2817BD	600	MUL VANNEY JAMES
5N2817BD	700	BONBRIGHT GEORGE & HEIDI (TRS)
5N2817BD	701	GILLET KENNETH D & KIMBERLY J
5N2817BD	800	BUNN STEPHEN R (AGT)
5N2817BD	900	PETERSON KENNETH D
5N2817BD	901	DESERT WIND INC
5N2817BD	6500	MATHEWS FRANCES R



**BUNN CONDITIONAL USE (CU-3-18)
STEVE BUNN, APPLICANT & OWNER
MAP #5N2817BD, TAX LOTS 800**

Exhibit A

Legend

-  Streets
-  Subject Property
-  Assessor's Maps
-  Tax Lots



MAP DISCLAIMER: No warranty is made as to the accuracy, reliability or completeness of this data. Map should be used for reference purposes only. Not survey grade or for legal use. Created by Brandon Seitz, on 3/6/2018









CITY OF UMATILLA TAX LOT MAP

Exhibit B

Feet
0 50 100 200

Legend

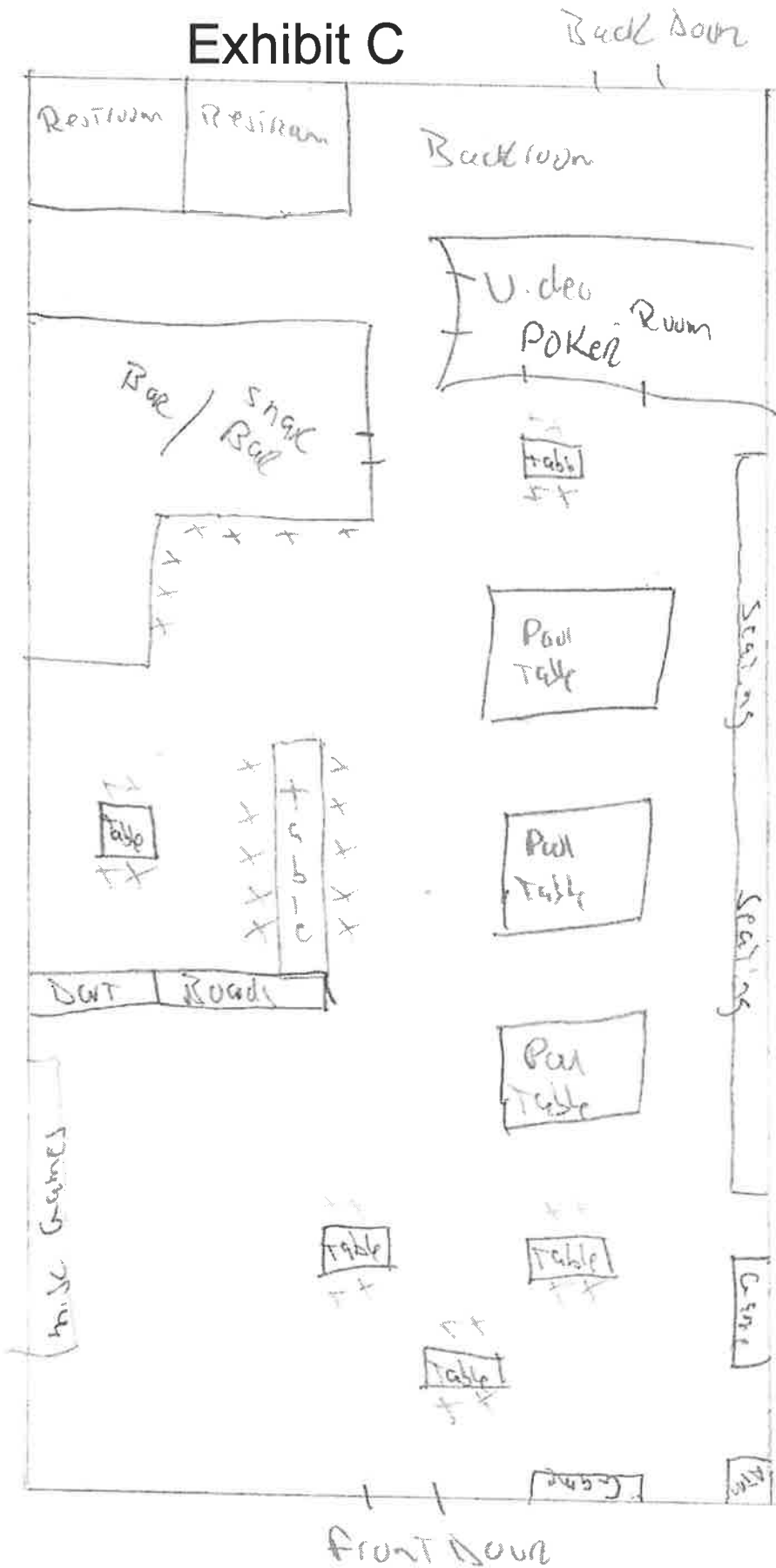
-  Subject Property
-  15
500 Foot Buffer
-  Streets
-  Tax Lots



MAP DISCLAIMER: No warranty is made as to the accuracy, reliability or completeness of this data. Map should be used for reference purposes only. Not survey grade or for legal use. Created by Brandon Seitz, on 2/6/2018

Exhibit C

FLOOR Plan
Steve Bunn
1201 6th ST
Umatilla, OR.



**CITY OF UMATILLA PLANNING COMMISSION
REPORT AND RECOMMENDATION
FOR
CONDITIONAL USE CU-4-18**

DATE OF HEARING: April 24, 2018

REPORT PREPARED BY: Brandon Seitz, City Planner

I. GENERAL INFORMATION AND FACTS

Applicant: Zayo Group LLC, 18110 SE 34th St Building 1, Suite 100, Vancouver WA, 98683.

Land Use Review: Conditional use for a fiber optic system as a utility facility/community service use.

Property Description: Within existing rights of way of Brownell Boulevard, Columbia Boulevard, Willamette Avenue, Riverside Avenue, Wildwood Lane, Roxbury Road, Beach Access Road, Umatilla River Road, Lind Road, Highway 730 and Highway 395.

Proposed Development: The applicant intends to construct/install multiple conduits and vault systems in support of a new fiber optic system in the City of Umatilla and urban growth area.

II. NATURE OF REQUEST AND GENERAL FACTS

The applicant, Zayo Group LLC, requests approval of a conditional use permit to install/construct multiple conduits and vault systems to support a new fiber optic system in the City of Umatilla and connecting urban growth area. The proposed fiber optic line installation process would consist of trenching and directional drilling in City of Umatilla, Umatilla County and ODOT rights of way. The entire project will be installed underground and all vaults/handholes will be flush mounts.

The proposed fiber optic system is considered a community services use. Community service uses may be allowed in any zoning district as a conditional use. All community service uses are required to be reviewed as conditional uses according to the procedures and criteria of Chapters 12 and 14 of the City of Umatilla Zoning Ordinance (CUZO).

III. ANALYSIS

The criteria applicable to this request are shown in underlined text and the responses are shown in standard text. All of the following criteria must be satisfied in order for this request to be approved.

CUZO 10-12-1: AUTHORIZATION TO GRANT OR DENY:

A. Approval Criteria: The applicant shall carry the burden of proof in demonstrating that the following review criteria are satisfied, in addition to any specific criteria and standards in this Chapter, other applicable chapters of this Title, and this Code. If any of the following criteria and other applicable standards cannot be satisfied by requiring conditions with the approval, the use shall be denied:

1. Applicable Plans: The conditional use application complies with applicable policies of the Umatilla City Comprehensive Plan.

Findings: The CUZO implements the comprehensive plan goals and policies. If a request is found to meet or be capable of meeting the applicable standards and criteria in the CUZO the request is considered to be consistent with the comprehensive plan.

Conclusion: This request is found to meet or be capable of meeting all of the applicable standards and criteria in the CUZO as addressed in this report.

2. Code Provisions: The proposal complies with all applicable provisions of this Code, including, but not limited to, provisions of this Chapter, the base district, and site review, as well as any other applicable provisions of this Code.

Findings: This report outlines the applicable provision of the CUZO. If the request is found to meet all of the criteria addressed in this report the request will comply with this standard.

Conclusion: The request is found to comply with all of the applicable criteria of the CUZO as addressed in this report.

3. Use Characteristics: If the proposed use is a community service, application shall include evidence to demonstrate that the proposed use is needed within the community to provide a social or technical benefit.

Findings: The proposed use is a utility facility which is considered a community service use. The applicant indicated that the fiber optic line is primarily passing through the community to serve a larger, regional population, but business, public institutions or other users within the city who need high-speed fiber optic cable would be able to connect to the new system. Access to additional fiber optic lines within the community will provide greater internet bandwidth for telecommunications at speed equal to those found in larger communities and will provide residents and businesses an alternative to existing providers.

Conclusion: The proposed use will benefit the community by providing additional bandwidth for internet service, which can help local businesses, governmental agencies and others be more productive in the local and regional economy and make personal internet use more enjoyable from an expanded, capable and reliable network. In addition, the new system will provide an alternative to existing providers.

4. Site Characteristics: The site is appropriate for the proposed use, considering, but not limited to, the following factors: neighboring land use, adequacy of transportation facilities and access, site size and configuration, adequacy of public facilities.

Findings: The proposed fiber optic lines will be installed underground within the street rights-of-way such that, when completed, the use will not be visible. Existing neighboring land uses along either side of the affected street rights-of-way may experience disruption during construction activities but long-term impacts would be minimal. The proposed fiber

lines would be installed within City of Umatilla, Umatilla County and ODOT rights of way. The applicant is required to obtain approval from the appropriate permitting authority prior to commencing any construction activity.

Staff received comment from the Bureau of Reclamation concerning the proposed fiber lines. The proposed lines will cross a Bureau maintained canal. The crossing will require a permit from the Bureau of Reclamation prior to construction.

Conclusion: The proposed site is an underground route within existing street rights of way. The use of street right of way for utility facilities is standard practice for many utility companies and is the City's preferred location for new utilities. Once construction of the proposed fiber lines is complete there are no anticipated negative impacts to adjacent or neighboring uses. As addressed above the application will be required to obtain all of the necessary permits from the appropriate jurisdictions prior to construction activities. Therefore, the proposed site, underground within existing rights of way, is considered an appropriate location for the proposed utility facility.

5. Impacts On The Neighborhood: Potential impacts on neighboring properties shall be identified. Mitigating measures shall be identified for unavoidable adverse impacts.
6. Impacts On The Community: Potential impacts on the community shall be identified, including, but not limited to, public facilities, land supply within the particular zoning district, impact on housing, etc. Potential benefits of a proposed use may outweigh potential impacts, but such benefits and impacts should be identified. Unavoidable adverse impacts should be mitigated to the extent possible.

Findings: Potential negative impacts would most likely be temporary and occur during construction. Such impacts might include temporarily displaced parking in front of residences or businesses within a street right-of-way and noise from construction equipment. The applicant indicated that the proposed fiber optic line is primarily intended to serve a much larger regional area, however, the line will also be capable of serving users within the City of Umatilla. Construction activities including digging or boring have the potential to negatively impact existing utilities or street surfaces.

Construction activities have the potential for unearthing artifacts of historic or cultural significance to the Confederated Tribes of the Umatilla Indian Reservation (CTUIR). If historic, cultural or other archaeological artifacts are discovered during construction the applicant will be required to cease construction activities and notify the appropriate agencies.

Conclusion: The conduit, cable and vaults for the proposed fiber optic line will all be placed underground within existing street rights-of-way and there should not be any noticeable long-term impacts on neighboring or nearby properties. Some impacts from construction activities, such as noise from equipment or displaced parking may occur but should be temporary.

IV. SUMMARY AND RECOMMENDATION

The applicant, Zayo Group LLC, is requesting approval of a conditional use to install/construct

multiple conduits and vault systems to support a new fiber optic system in the City of Umatilla and connecting urban growth area. The request appears to meet all of the applicable criteria and standards for this type of use. Therefore, based on the information in Sections I and II of this report, and the above criteria, findings of fact and conclusions addressed in Section III, staff recommends approval of Conditional Use, CU-4-18, subject to the conditions of approval contained in Section

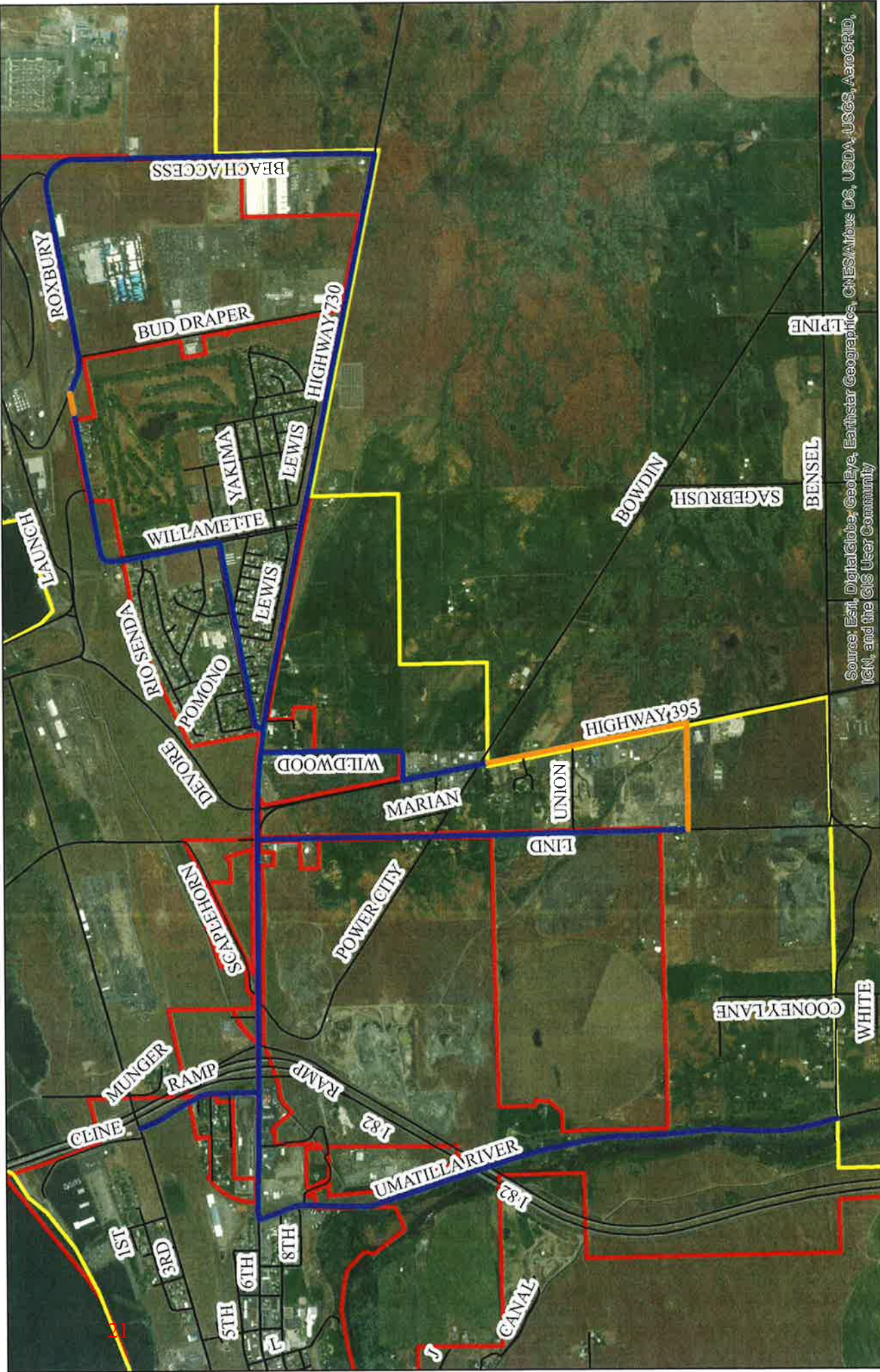
V. CONDITIONS OF APPROVAL

1. The applicant, or applicant's construction contractor, must obtain all federal, state and local permits, including but not limited to right-of-way permits and the applicable permit for crossing the Bureau of Reclamation canal, prior to starting construction.
2. The applicant shall be responsible for ensuring that locates for all pre-existing utilities are called for at least 48 hours in advance using the Oregon 1-800-332-2344 Call Before You Dig hotline.
3. If any historic, cultural or other archaeological artifacts, are discovered during construction and installation of the fiber optic cable or associated structures, the applicant shall immediately cease construction activity and notify the appropriate agencies including but not limited to the City of Umatilla and the Confederated Tribes of the Umatilla Indian Reservation (CTUIR).
4. The applicant must begin construction of the proposed use within one year of the date of final approval of this request unless the applicant applies for and receives an extension prior to expiration of this approval.
5. Failure to comply with the conditions of approval established herein may result in revocation of this approval.

VI. EXHIBITS

Exhibit A – Public notice map

Exhibit B – Applicant's submitted construction plans (reduced)



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Legend

- Proposed Fiber Lines
- Urban Growth Boundary
- City Limits
- Not Part of Application
- Streets/Roads

Exhibit A

Feet
 0 1,000 2,000 3,000 4,000

MAP DISCLAIMER: No warranty is made as to the accuracy, reliability or completeness of this data. Map should be used for reference purposes only. Not survey grade or for legal use.
 Created by Brandon Seitz, on 4/4/2018

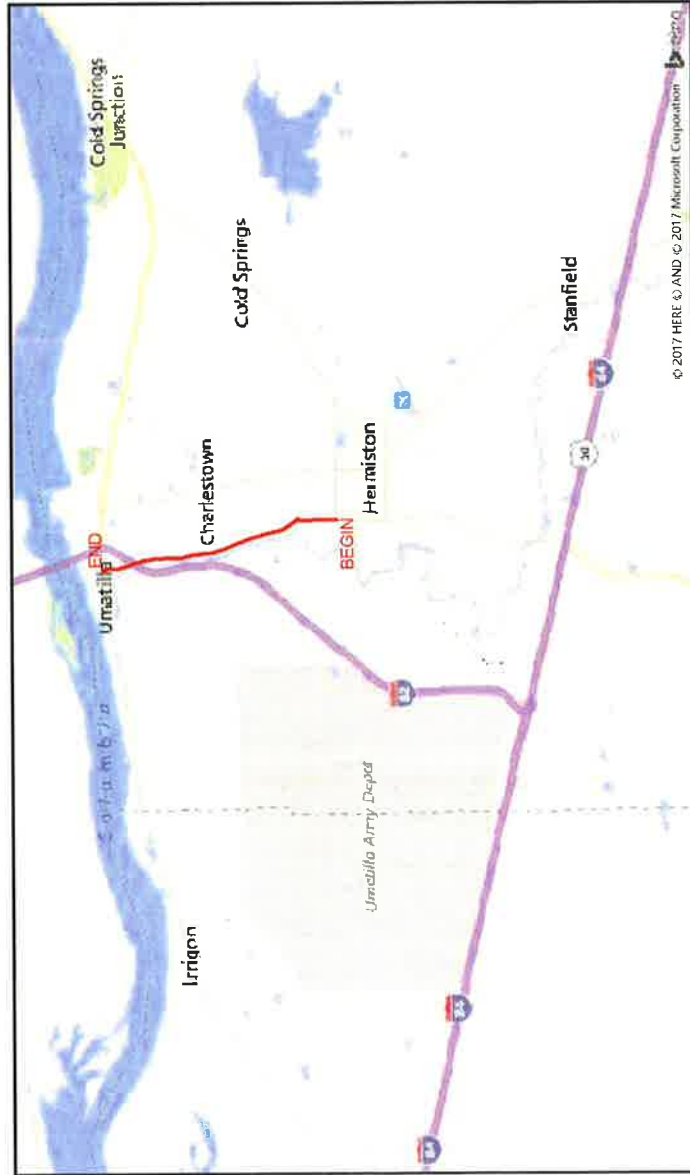
Zayo Conditional Use (CU-4-18) Zayo Group LLC, Applicant



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Exhibit B

ADDRESS: 28723 WESTPORT RD, HERMISTON, OR 97838
 PROJECT NAME: ZAYO - BOARDMAN TO UMATILLA - B1



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	XX FT.
OVERLASH	=	XX FT.
NEW UNDERGROUND	=	28,145 FT.
EXISTING UNDERGROUND	=	XX FT.
RISERS	=	XX FT.
ISP	=	XX FT.
TOTAL FOOTAGE	=	28,145 FT.

SCALE: NTS

CONTACTS
 ZAYO CONTACT
 DAN BARCOMB
 22651 83RD AVE S
 KENT, WA 98032
 C 509 727 3345
 DAN.BARCOMB@ZAYO.COM

LEVI SPIRET
 MGC TECHNICAL CONSULTING, INC.
 6244 185TH AVE NE
 REDMOND, WA 98052
 C 206 618 1603
 LEVI@MGCTECHNICAL.COM

- SHEET INDEX**
1. COVER SHEET / SITE LOCATION
 2. LEGEND
 3. LEGEND NOTES
 - 4-15. PLAN VIEW
 16. VAULT DIAGRAM
 17. UNDERGROUND TYPICALS
 18. UNDERGROUND TYPICALS

SCOPE OF WORK

BEGINNING AT HERMISTON CITY LIMITS, PROPOSED BORE HOLE #3 AND #11.35 PLACED THROUGH HERMISTON TO UMATILLA RIVER ROAD. HEAD NORTH ON UMATILLA ROAD TO HWY 730. PULL FIBER CABLE THROUGH FLUGE VAULTS ALONG THE WAY.

AS-BUILT	REVISION # 1
9/24/17	LS
DATE	DESIGNER
	CHIEF
	COMMIT

ZAYO
 ZAYO ENGINEERING DAN BARCOMB
 ENGINEERING FIRM MGC TECHNICAL CONSULTING INC
 PROJECT NUMBER
 LOCATION 28723 WESTPORT RD
 HERMISTON OR 97838
 DRAWING NAME ZAYO - BOARDMAN TO UMATILLA - B1 - P&E - 2.dwg
MGC
 MGC TECHNICAL CONSULTING INC
 6244 185TH AVE NE
 REDMOND, WA 98052
 C 206 618 1603
 LEVI@MGCTECHNICAL.COM

CONFIDENTIAL/PROPRIETARY SHEET 1 OF 18

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEAM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BIP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EDP	EDGE OF PAVEMENT
ETW	EDGE OF TRAVEL WAY
F/C	FACE OF CURB
F/O	FIBER OPTIC
H/PE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
R/S	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA.	STATION
STM	STEAM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING		TRANSMISSION/DISTRIBUTION POLE
	RISER - PROPOSED		TRANSMISSION POLE
	CATCH BASIN/INLET (RECTANGULAR)		DISTRIBUTION POLE
	CATCH BASIN/INLET (ROUND)		GROUND/BOND
	FIRE HYDRANT		AERIAL STORAGE - EXISTING
	WATER/GAS VALVE		AERIAL STORAGE - PROPOSED
	LIGHT POST		VAULT/BUILDING STORAGE - EXISTING
	STREET LIGHT		VAULT/BUILDING STORAGE - PROPOSED
	TRAFFIC LIGHT ARM		POLE ANCHOR/DOWN GUY - EXISTING
	TREE		POLE ANCHOR/DOWN GUY - PROPOSED
	CULVERT		DOWN GUY TO EXISTING ANCHOR - PROPOSED
	WING WALL		SPLICE POINT - EXISTING
	BRIDGE		SPLICE POINT - PROPOSED
	STREET SIGN		TERMINATION - EXISTING
	ADA RAMP		TERMINATION - PROPOSED
	UTILITY POLE - EXISTING		PULLBOX - EXISTING
	UTILITY POLE - PROPOSED		PULLBOX - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		CONSTRUCTION NOTE / RESTORATION CALLOUT
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)		PHOTO-MARKER
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		NORTH ARROW
	HANDHOLE - PROPOSED (SIZE MAY VARY)		
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	PEDESTAL - PROPOSED (SIZE MAY VARY)		
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	BORE PIT - PROPOSED (SIZE MAY VARY)		
	UTILITY POTHOLE		

INFORMATION TABLES

POLE NUMBER	EXISTING UTILITY	PROPOSED ATTACH	UTILITY POLE INFORMATION TABLE (NUMBER OF ATTACHMENTS MAY VARY)
#F	IN/OUT	IN/OUT	SEQUENTIAL IN/OUT CALLOUT
#F	TAIL	TAIL	SEQUENTIAL TAIL/OUT CALLOUT
#F	TAIL	TAIL	SEQUENTIAL TAIL/OUT CALLOUT

HATCH PATTERNS

	CONCRETE SIDEWALK
	GRASS/VEGETATION
	GRAVEL
	WATER



1	DATE	DESIGNER	PROJECT	LOCATION	PROJECT NUMBER	DATE	BY	APPREVED
2	8/24/17	LS	JLB					
3	DATE	DESIGNER	PROJECT	LOCATION	PROJECT NUMBER	DATE	BY	APPREVED
4								
ZAYO ENGINEER - ENGINEER/ARCHITECT REGISTERED PROFESSIONAL ENGINEER/ARCHITECT PROJECT NUMBER LOCATION PROJECT NUMBER DATE BY APPREVED								
CONFIDENTIAL AND PROPRIETARY								

GENERAL NOTES

GENERAL NOTES:

The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

- 1 ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE COUNTY OF UMATILLA AND APPLICABLE STATE AND FEDERAL REGULATIONS WHERE THERE IS CONFLICT. ALL UTILITIES TO BE LOCATED AND THE SPECIFICATIONS OR ANY APPLICABLE STANDARDS THE PROJECT OWNER'S STANDARD SHALL APPLY TO ALL WORK WITHIN PUBLIC R.O. OR EASEMENTS. ANY REQUIREMENTS SET FORTH BY THE COUNTY OF UMATILLA INSPECTOR, INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
- 2 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
- 4 THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE COUNTY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION, AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- 5 THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
- 6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- 7 IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 8 ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- 9 FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE COUNTY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH M.U.T.C.D. FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS. PRIOR TO INSTALLATION A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH COUNTY OF UMATILLA.
- 10 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 11 PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- 12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE COUNTY OF UMATILLA INSPECTOR AT ALL TIMES.
- 13 DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
- 14 ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- 15 ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE COUNTY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
- 16 ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARNING, UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE COUNTY OF UMATILLA.



1	DATE	BY	REVISION #	AS-BUILT
2	6/24/17	US	JLB	REVISION # 1
3	DATE	BY	REVISION #	ORIGINAL
4				COMMENT

ZAYO ENGINEERING CONSULTING INC.
 ENGINEERING FROM THE PACE OF PHYSICAL CONSTRUCTION
 PROJECT MANAGER
 LYONIAN 2022 WESTPORT RD
 HERBERTON, OR 97238

MGC
 MGC TECHNICAL CONSULTING, INC.
 1000 NE 10TH AVE, SUITE 100
 HERBERTON, OR 97238

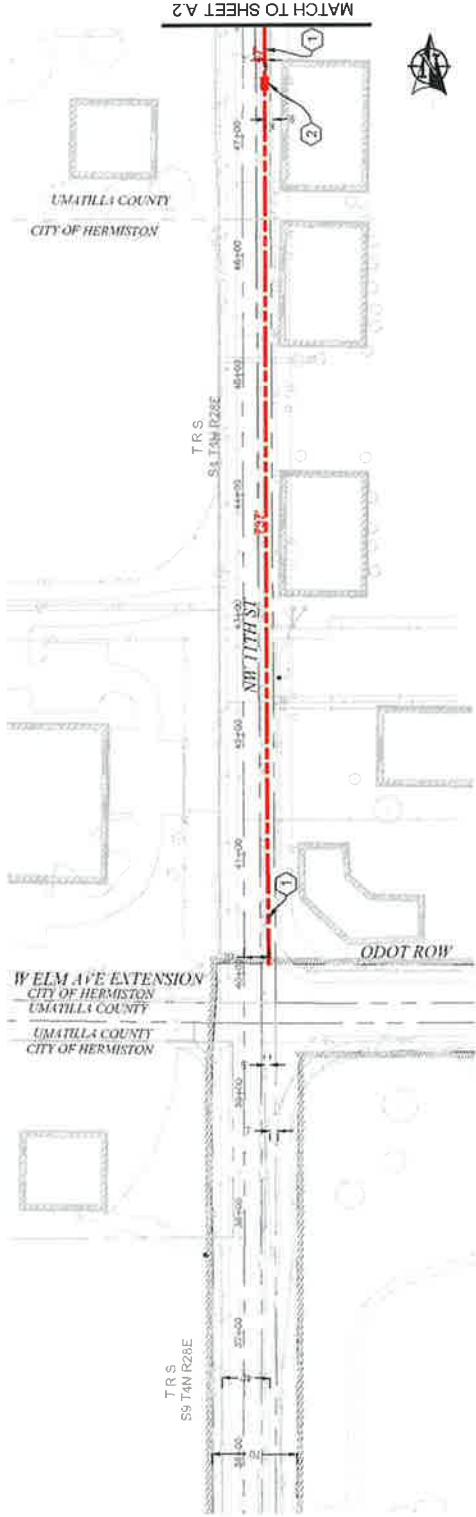
CONFIDENTIAL - PROPRIETARY SHEET 3 OF 11

CONSTRUCTION NOTES

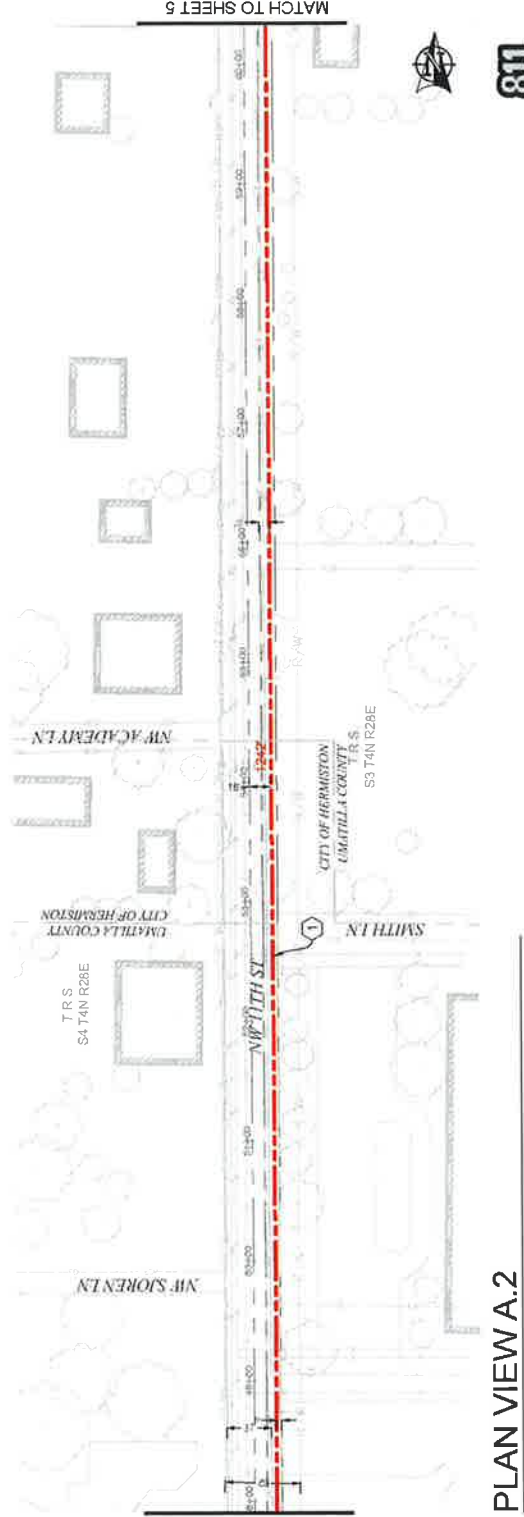
- 1 PROPOSED BORE NEW (3) 7" AND (1) 1.25" HDPE SDR 11 UNDERLIFT FULL FIBER CABLE THROUGH REBAR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PORTHOLE UTILITIES PRIOR TO CONSTRUCTION.
- 2 PROPOSED PLACE (1) 30"X48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"X36" BULK SERIES 4 VAULT. PULL FIBER THROUGH VMP SUBJECT TO CHANGE LOCATION. SEE VMP DIAGRAM V-2 ON SHEET 28. SEE VAULT DETAILS ON SHEET 29.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT



PLAN VIEW A.1



PLAN VIEW A.2

NO.	DATE	ENGINEER	LS	JLB	CHARTER	COMMIT
1	8/24/17	ZAYO				
2						AS-BUILT
3						REVISION # 1
4						ORIGINAL



ZAYO ENGINEERING - UNINCORPORATED
 17000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: 303.755.1100
 FAX: 303.755.1101
 WWW.ZAYOENGINEERING.COM



Know what's below.
 Call before you dig.
 811

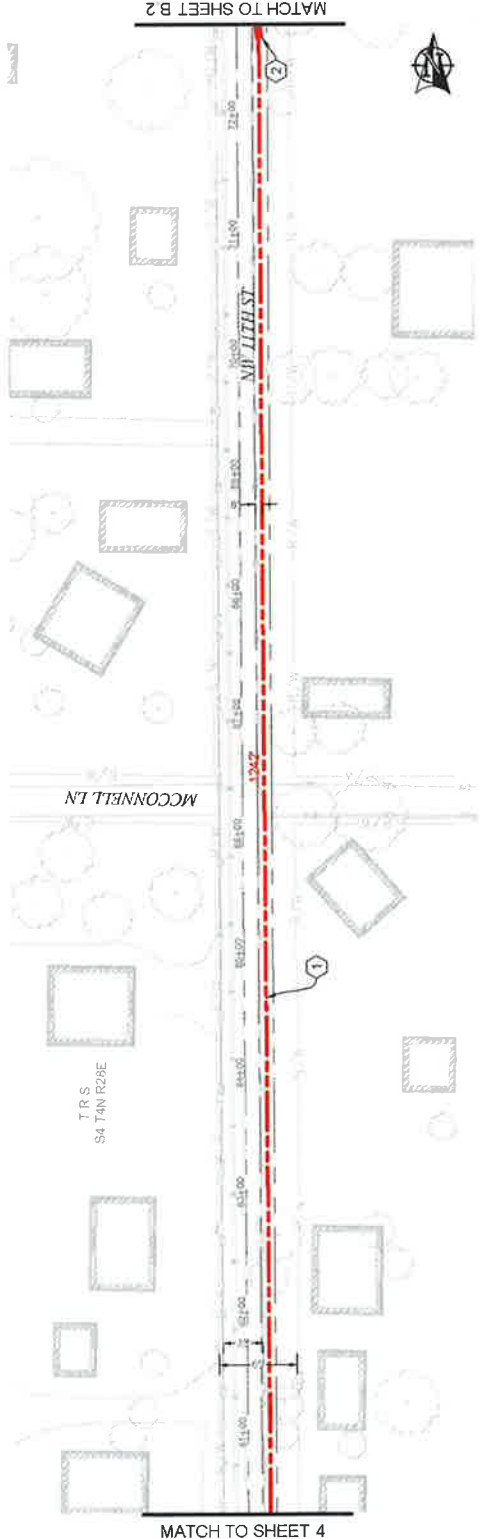


CONSTRUCTION NOTES

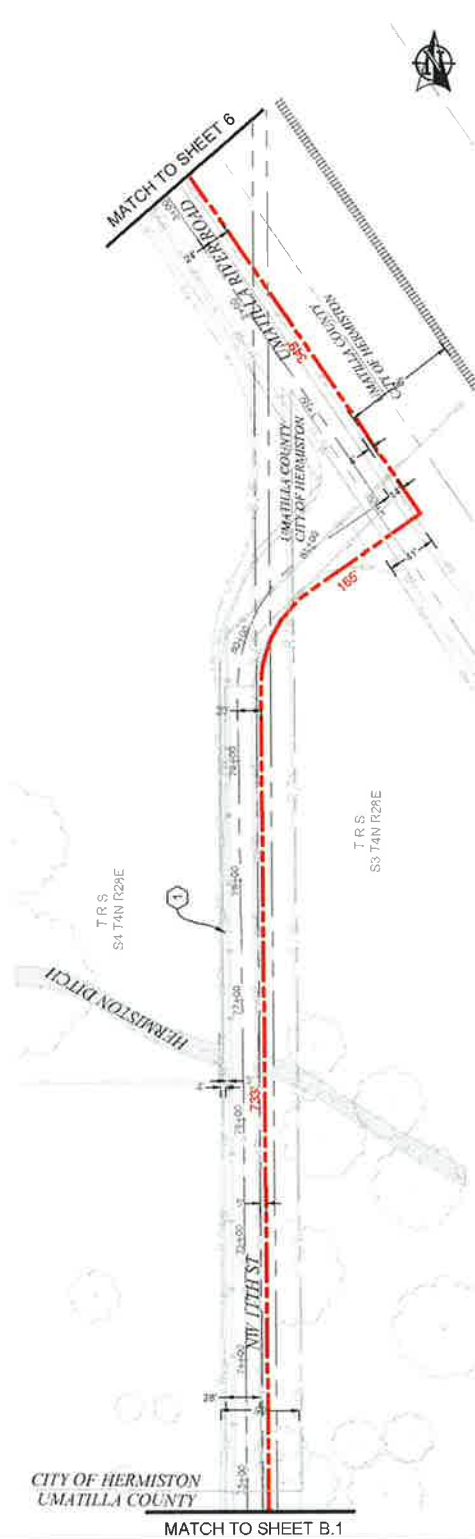
- 1) PROPOSED BORE NEW (3) 3" AND (1) 1.25" HOSE SDR 11 UNDERLAY. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- 2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH. NMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2A.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW B.1



PLAN VIEW B.2

AS-BUILT	REVISION # 1
DATE	DESIGNER
DATE	DRAWN
DATE	CHECKED
DATE	APPROVED

zayo
 zayo engineer, daniel g. gable
 engineer/inspector, tina h. parker, consulting inc.
 PROJECT NUMBER: 202404WESTPORT RD
 LOCATION: 2024 WESTPORT RD
 HERMISTON, OR 97134
 DATE: 11/08/2024
 DRAWN BY: JMM

MGE
 MASONRY GROUP ENGINEERS
 1000 N. W. 11th St., Suite 101
 Hermiston, OR 97134
 Phone: 503.866.1111
 Fax: 503.866.1112
 Email: info@mge.com

CONFIDENTIAL/PROPRIETARY SHEET 1 OF 13

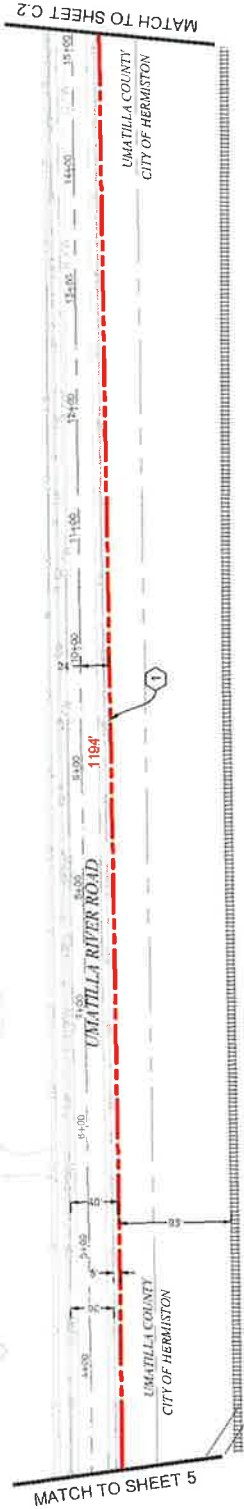
811
 Know what's below.
 Call before you dig.
 1-800-4-A-DIG
 SCALE: 1" = 100'

CONSTRUCTION NOTES

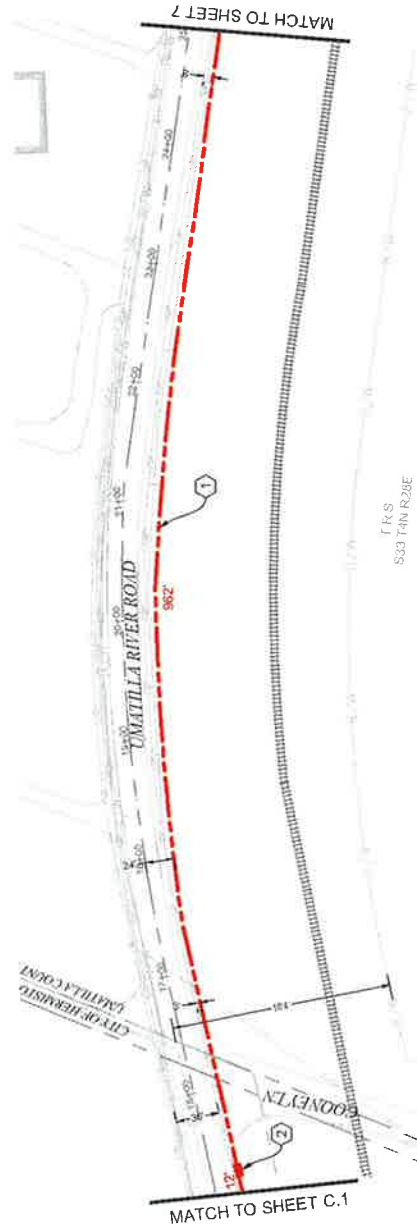
- (1) PROPOSED 600# NEW (3) 12" AND (1) 1.05" HERE, SOR
11.25" ABOVE FINISHED GRADE. SEE V-2 ON SHEET 28 FOR
SURFACE PER LOCAL JURISDICTION STANDARDS.
CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO
CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT,
PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT,
PULL FIBER THROUGH. IMP. SUBJECT TO CHANGE.
LOCATION. SEE V-2 ON SHEET 28. SEE
VAULT DETAILS ON SHEET 29.

CONTRACTOR NOTES

ADULT OF COMPACT GRAVEL AND WIRE MESH ON THE
FLOOR OF EACH VAULT.



PLAN VIEW C.1



PLAN VIEW C.2

NO.	DATE	ENGINEER	DRAWN	REVISION / COMMENT
1	8/24/17	LS	LS	ORIGINAL
2				AS-BUILT



811
Call before you dig
Scale: 1" = 100'

zayo
MGS

ZAYO ENGINEERS - 1001 W. 12TH ST. SUITE 200
HERMISTON, OR 97138
PROJECT NUMBER: 18241-0001-000001-0001
LOCATION: 2872 WILSON POINT RD
HERMISTON, OR 97138
DRAWING NUMBER: 18241-0001-000001-0001-0001
PROJECT: 18241-0001-000001-0001-0001

CONSTRUCTION NOTES

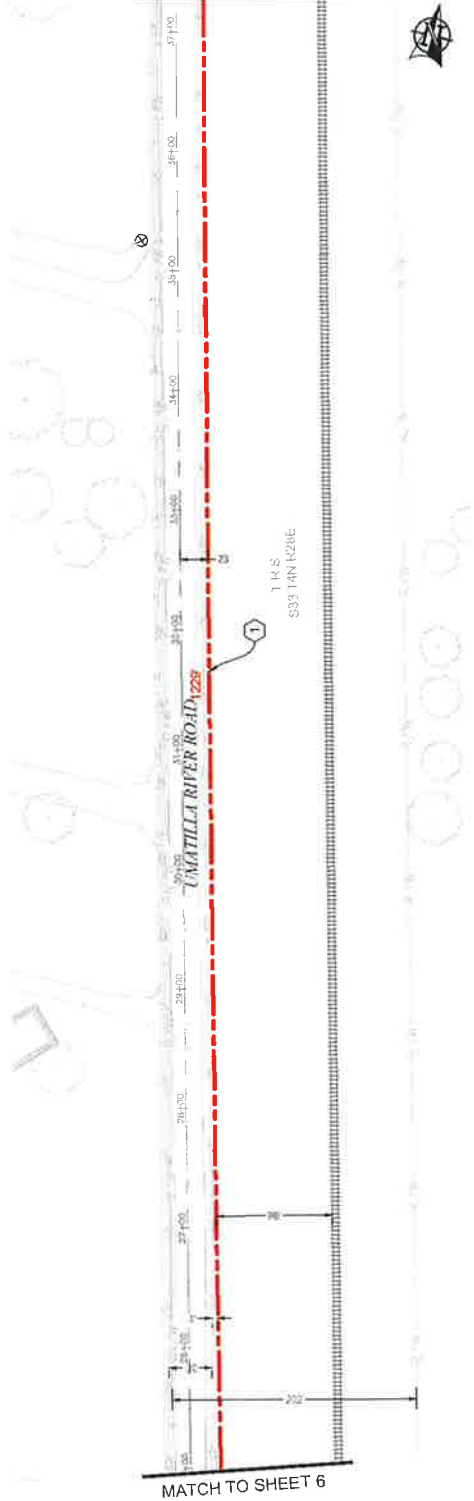
1 PROPOSED BORE NEW (3) 2" AND (1) 1.95" HOPE, SDR 11 UNDERPACT PULL FIBER CABLE THROUGH, REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.

2 PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT, PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT, PULL FIBER THROUGH WMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2B.

CONTRACTOR NOTES

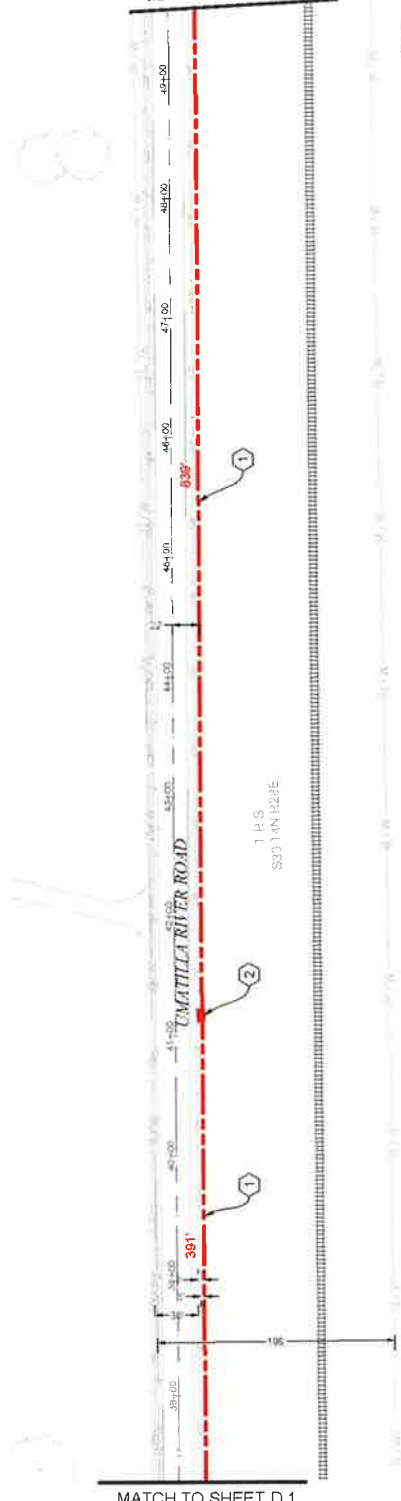
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT

MATCH TO SHEET D 2



PLAN VIEW D.1

MATCH TO SHEET 8



PLAN VIEW D.2



0 50' 100'

SCALE: 1" = 100'

NO.	DATE	ENGINEER	DRAWN	COMMENT
1	6/24/17	LS	JLB	REVISION # 1
2				ORIGINAL

zayo
 ZAYO ENGINEER CONSULTANTS
 ENGINEERING FIRM, INC. 700 N. CENTRAL EXPRESSWAY
 PROJECT MANAGER
 LOCATION: 2002 VALLEYVIEW RD
 HEMET, CA 97528
 DRAWN BY: LS AND JLB
 CHECKED BY: JLB
 SCALE: 1" = 100'

CONFIDENTIAL - PROPRIETARY

CONSTRUCTION NOTES

1) PROPOSED BORE HOLE (3" Ø AND (1) 1.05" HOSE SOR 1" UNDERLAY) PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.

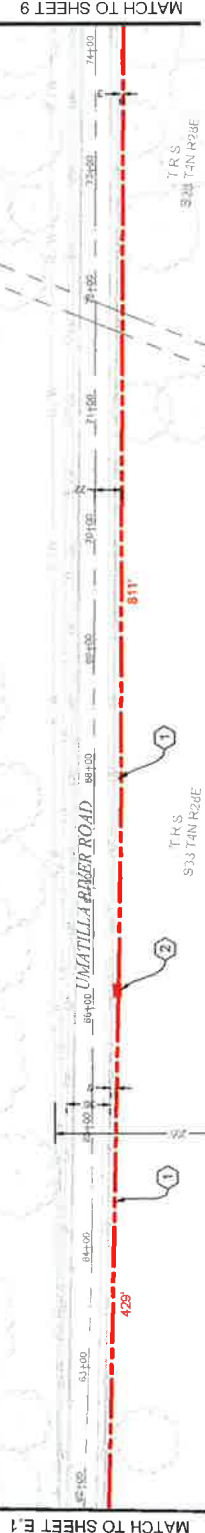
2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH WMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 28. SEE VAULT DETAILS ON SHEET 25.

CONTRACTOR NOTES

ADULT OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW E.1



PLAN VIEW E.2



Know what's below.
Call before you dig.

0 50' 100'

SCALE: 1"=100'

3	AS-BUILT	REVISION # 1
2	DATE	COMMENTS
1	DATE	COMMENTS
0	DATE	COMMENTS
ZAYO ENGINEER - TANKERS K&B LICENSE NUMBER: 104272 PROJECT NUMBER: 104272 LOCATION: 2533 WESTPAK RD PERMITS: ON 9/28/24 DRAWN BY: ZAYO ENGINEERING CHECKED BY: TANKERS K&B SCALE: 1"=100' SHEET 8 OF 10		

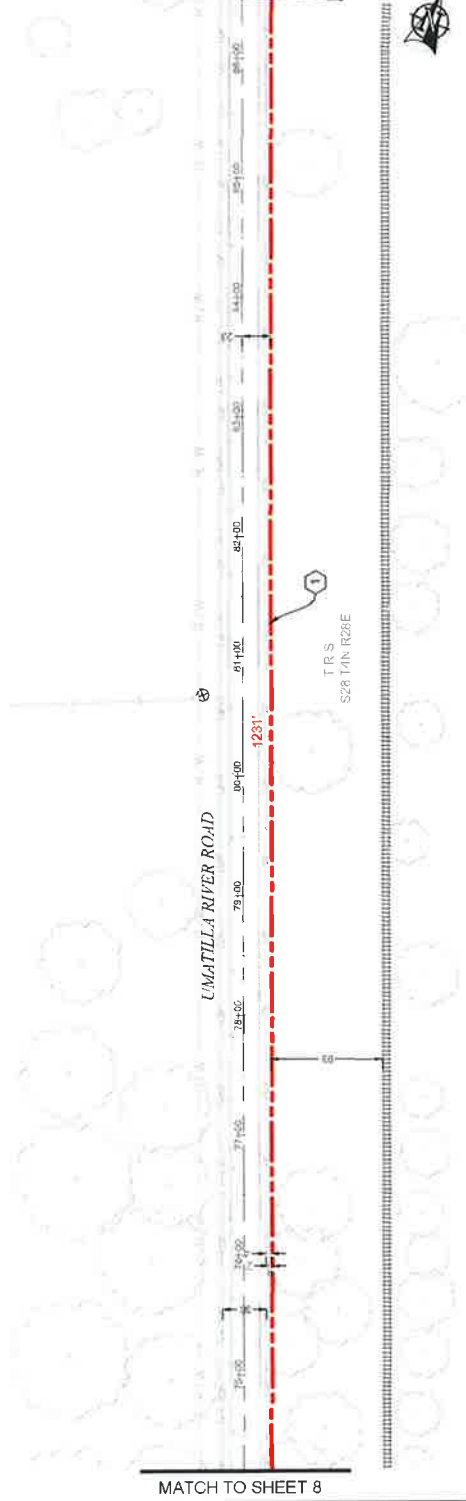
CONSTRUCTION NOTES

- 1) PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SDR 11 INDUCT, PULL FIBER CABLE THROUGH, REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTHOLE UTILITIES PRIOR TO CONSTRUCTION.
- 2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH. IMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2A.

CONTRACTOR NOTES

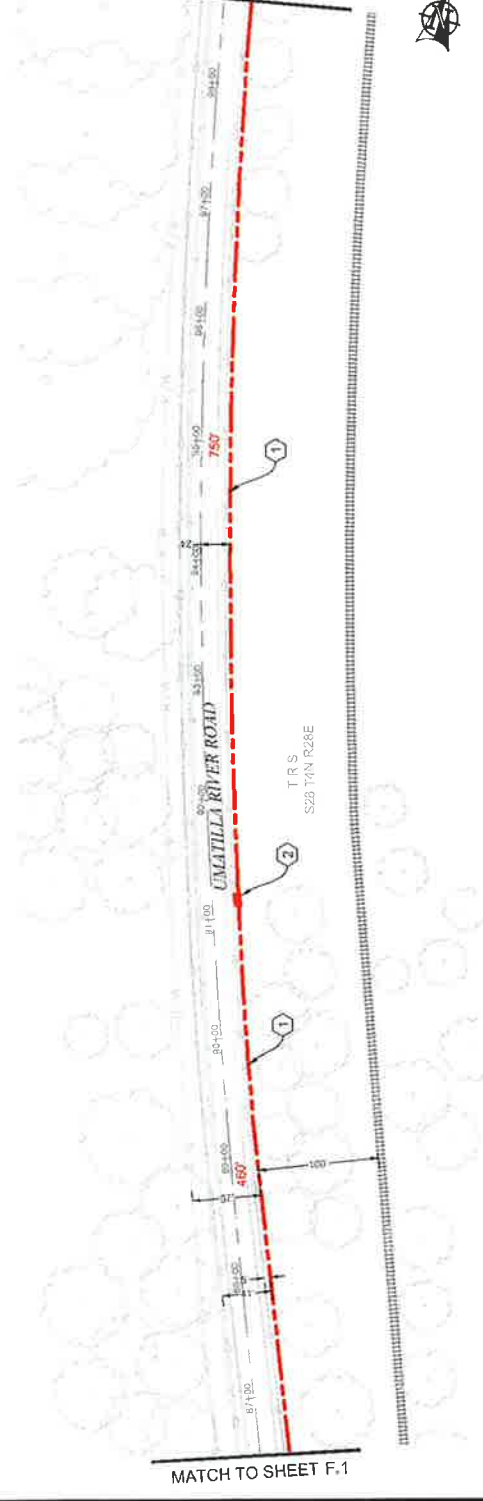
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT

MATCH TO SHEET F.2



PLAN VIEW F.1

MATCH TO SHEET 10



PLAN VIEW F.2



Know what's below.
Call before you dig.



AS-BUILT	REVISION # 1
DATE	JOB
DESIGNER	DRAWER
DATE	COMMIT

zayo
 FIBER OPTIC NETWORKS
 ENGINEERING AND ARCHITECTURAL CONSULTING INC.
 PROJECT MANAGER
 LOCATION: SUZANNEBOAT RD
 REVISION: 08/11/20
 DRAWING NAME: FIBER OPTIC NETWORKS - TRS - FIBER FIVE
 SCALE: 1" = 100'

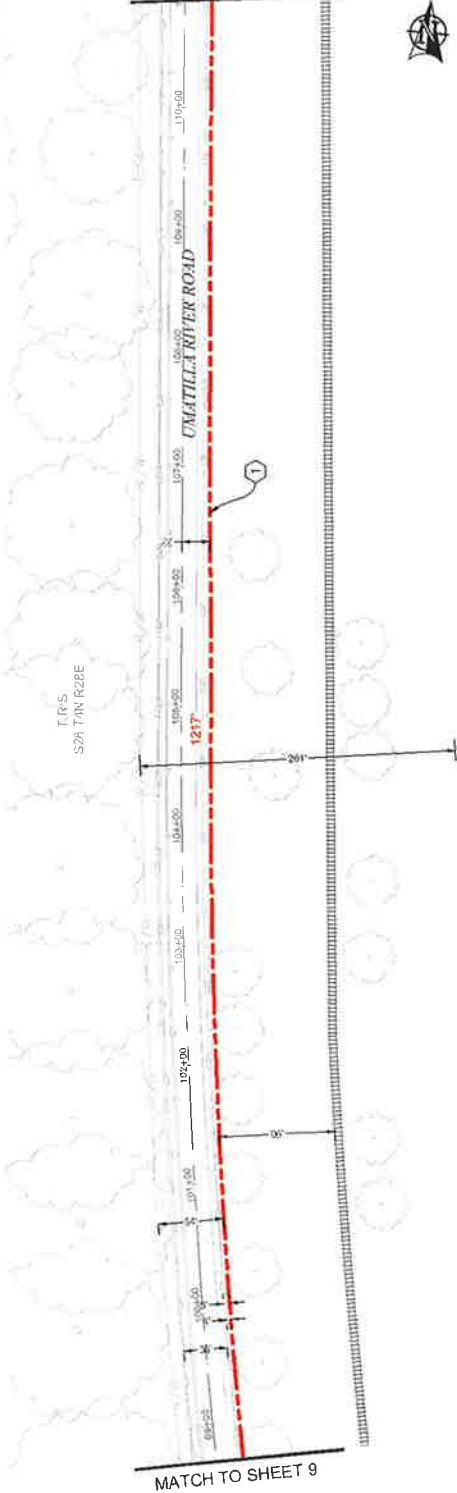
CONSTRUCTION NOTES

- 1 PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SDR 11 INNERDUCT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- 2 PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH AMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 28. SEE VAULT DETAILS ON SHEET 29.

CONTRACTOR NOTES

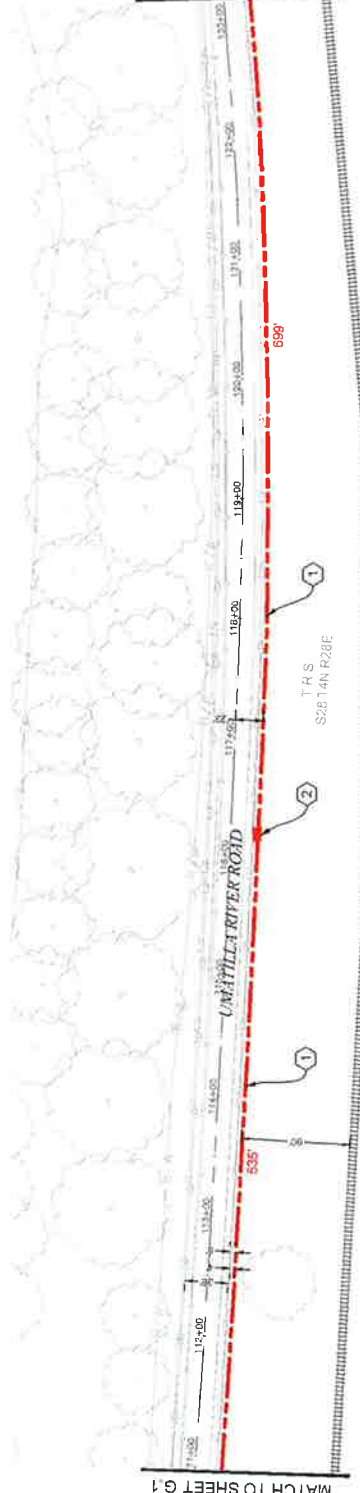
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

MATCH TO SHEET G.2



PLAN VIEW G.1

MATCH TO SHEET 11



PLAN VIEW G.2



SCALE: 1" = 100'

AS-BUILT	REVISION # 1
DATE	JOB
ENGINEER	DRAWN
COMPANY	

zayo **MGE**

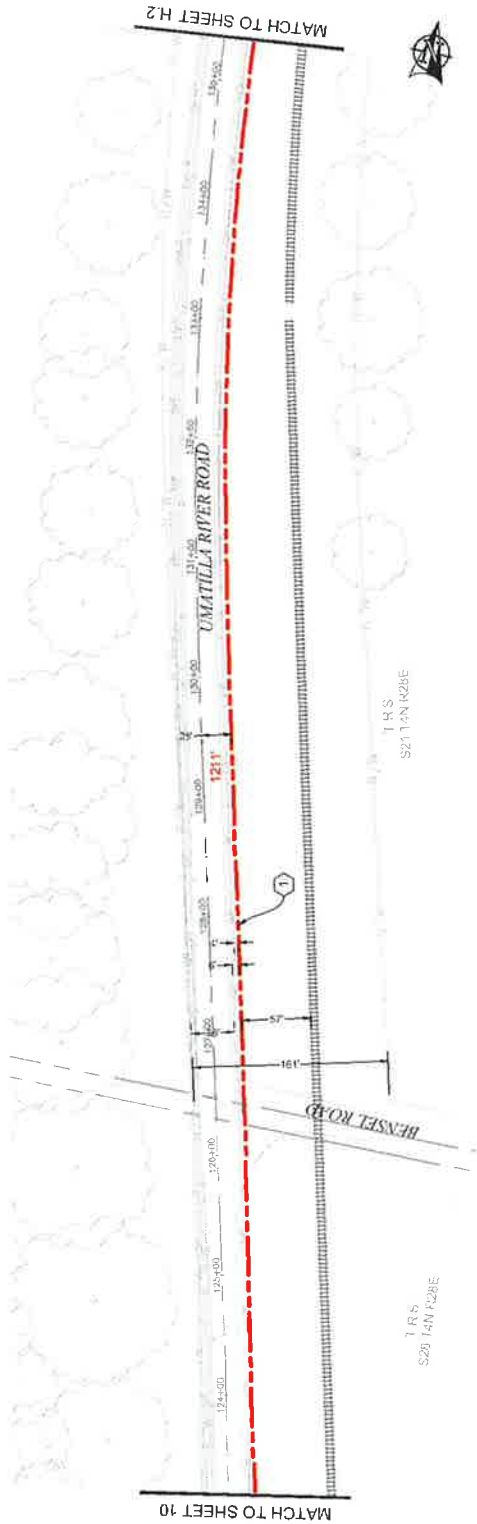
DATE: 8/24/17
 PROJECT: 201721VA17VART RD
 LOCATION: 201721VA17VART RD
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NUMBER: 201721VA17VART RD
 SHEET 11 OF 11

CONSTRUCTION NOTES

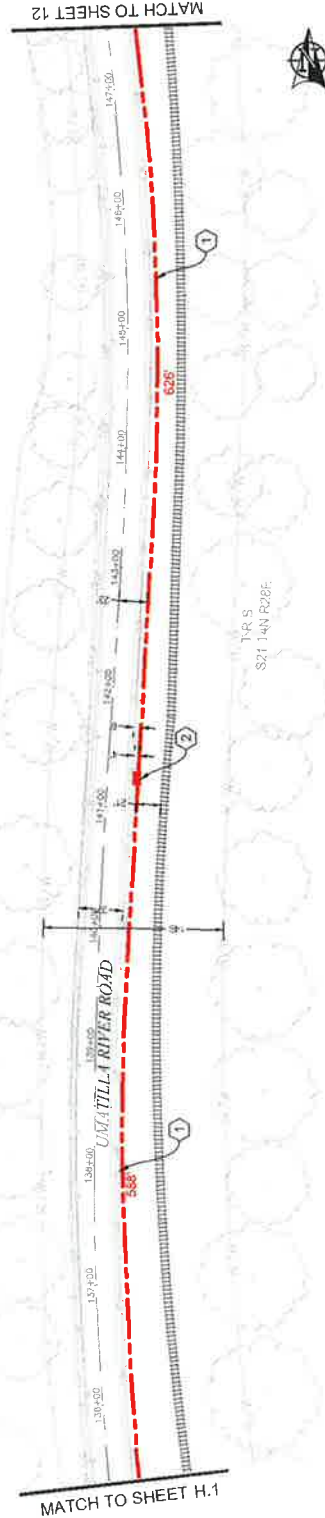
- (1) PROPOSED BORE HOLE (D), 4" AND (E), 1.05" HOLE SIZE 1" UNLESS NOTED OTHERWISE. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT, PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT, PULL FIBER THROUGH IMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2C.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAV AND WIRE MESH ON 1" FL FLOOR OF EACH VAULT



PLAN VIEW H.1

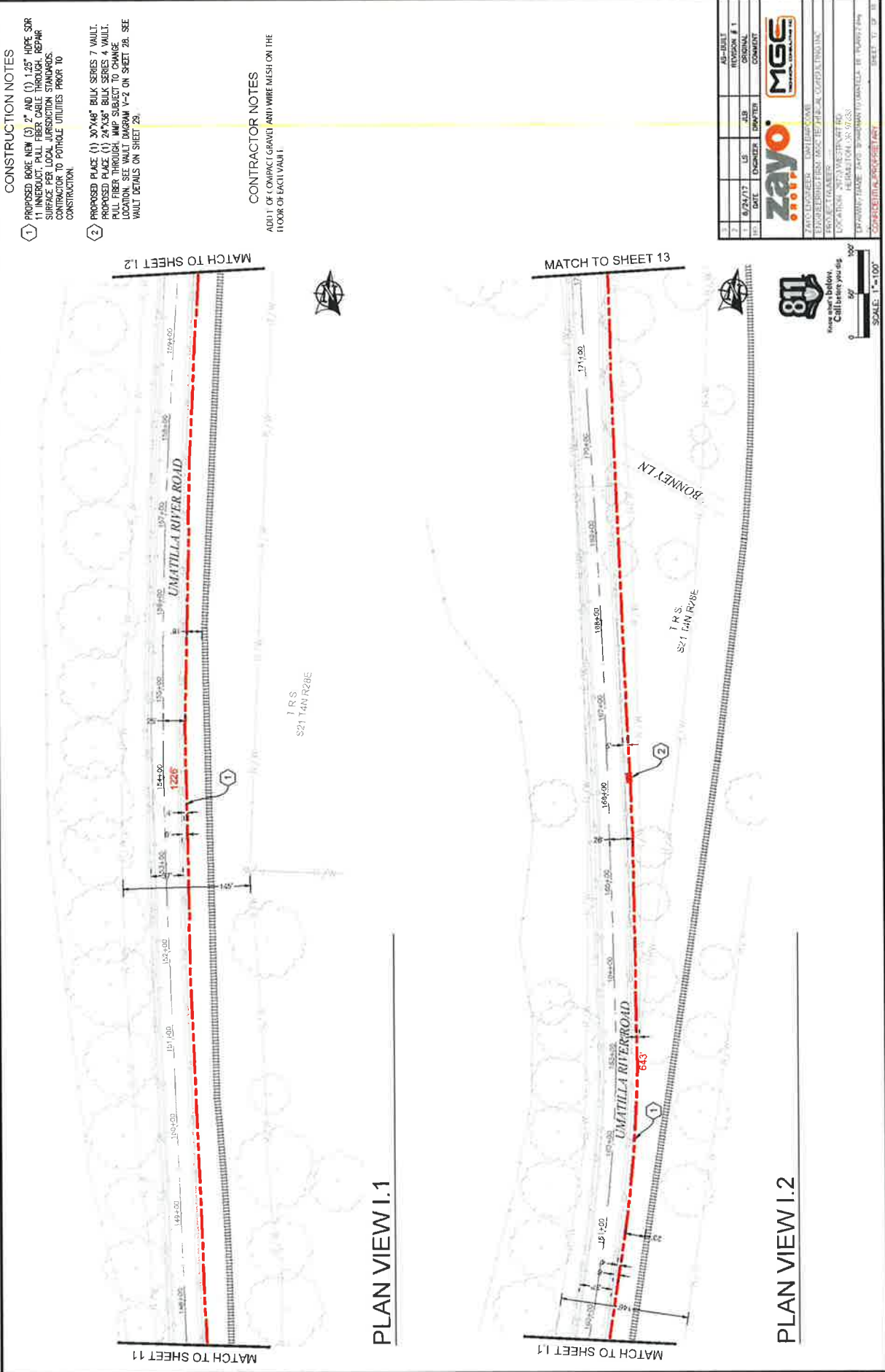


PLAN VIEW H.2

NO.	DATE	DESIGNED	DRAWN	COMMENTS
1	8/24/17	US	ZLS	ORIGINAL
2				AS-BUILT

 ZAYO TELECOM - BROADBAND TELECOMMUNICATIONS CONSULTING INC. PROJECT NUMBER: ... LOCATION: 26723 WESTPORT RD HOUSTON, TX 77068 DRAWING TITLE: ROAD IMPROVEMENTS/UMATILLA RIVER ROAD CONFIDENTIAL/PROPRIETARY	 MGS CONSULTING
---	-----------------------

Know what's below.
 Call before you dig.
 1-800-485-5747
 SCALE: 1" = 100'



CONSTRUCTION NOTES

- 1 PROPOSED BORE NEW (3) 2" AND (1) 1.25" HOPE SDR 11 INNERDUCT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- 2 PROPOSED PLACE (1) 30"X48" BULK SERIES 7 VAULT, PROPOSED PLACE (1) 24"X36" BULK SERIES 4 VAULT, PULL FIBER THROUGH. IMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2A.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

AS-BUILT	REVISION # 1
DATE	DESIGNED
DATE	DRAWN
DATE	COMPUTED

zayo
 zayo.com
 10000 W. CENTURY BLVD. SUITE 100
 DENVER, CO 80201
 TEL: 303.755.1000
 FAX: 303.755.1001

MGS
 MGS ENGINEERING
 10000 W. CENTURY BLVD. SUITE 100
 DENVER, CO 80201
 TEL: 303.755.1000
 FAX: 303.755.1001

PROJECT NUMBER: 20170328-001
 LOCATION: 2017 INVESTMENT RD
 HEAVENLY, CO 81753
 DRAWING NUMBER: 20170328-001-01-01-01
 SHEET 13 OF 13

811
 Know what's below.
 Call before you dig.
 1-800-4-A-DIG
 SCALE: 1" = 100'

PLAN VIEW I.1

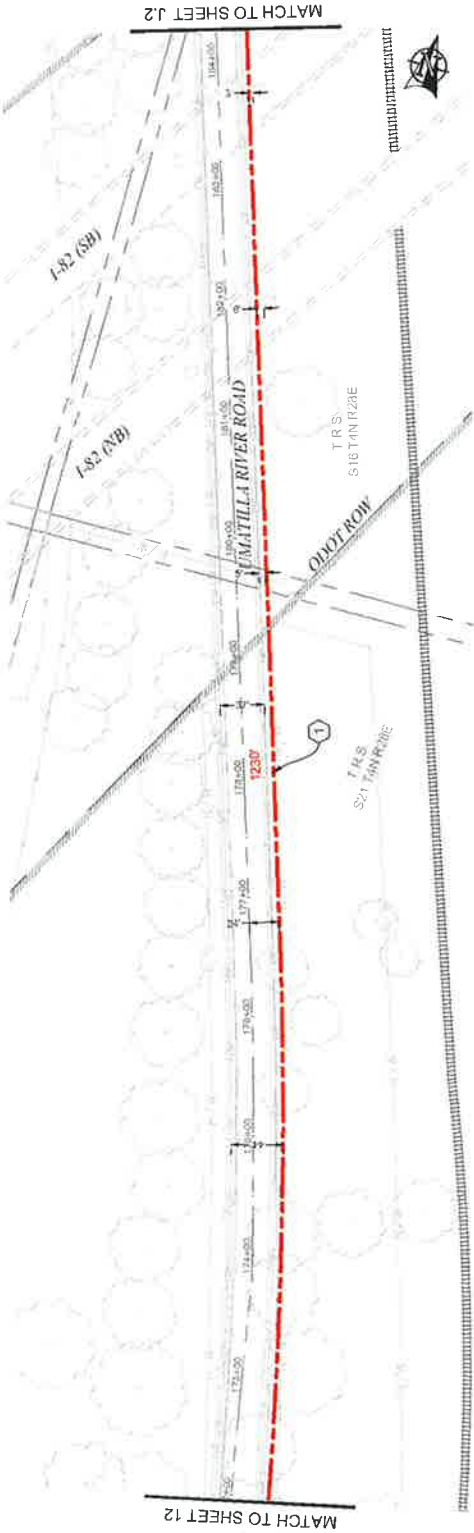
PLAN VIEW I.2

CONSTRUCTION NOTES

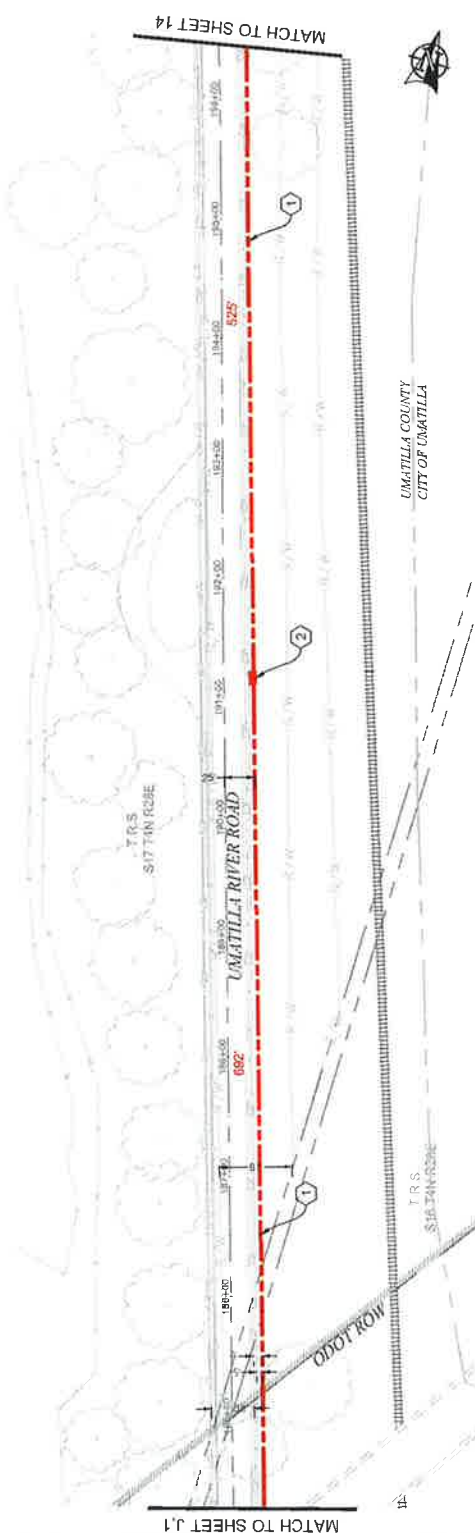
- 1) PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SDR 11 UNDERDUCT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTHOLE UTILITIES PRIOR TO CONSTRUCTION
- 2) PROPOSED PLACE (1) 36"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH BULKHEAD TO SERVICE LOCATION. SEE DRAWING Y-2 ON SHEET 28. SEE VAULT DETAILS ON SHEET 28.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT



PLAN VIEW J.1



PLAN VIEW J.2



Have your 811 call before you dig



UMATILLA COUNTY
CITY OF UMATILLA

1	DATE	DESIGNED	DRAWN	CHECKED	AS-BUILT
2	8/24/17	US	JLB	DN	REVISION # 1
3					ORANGE
4					CONDUIT

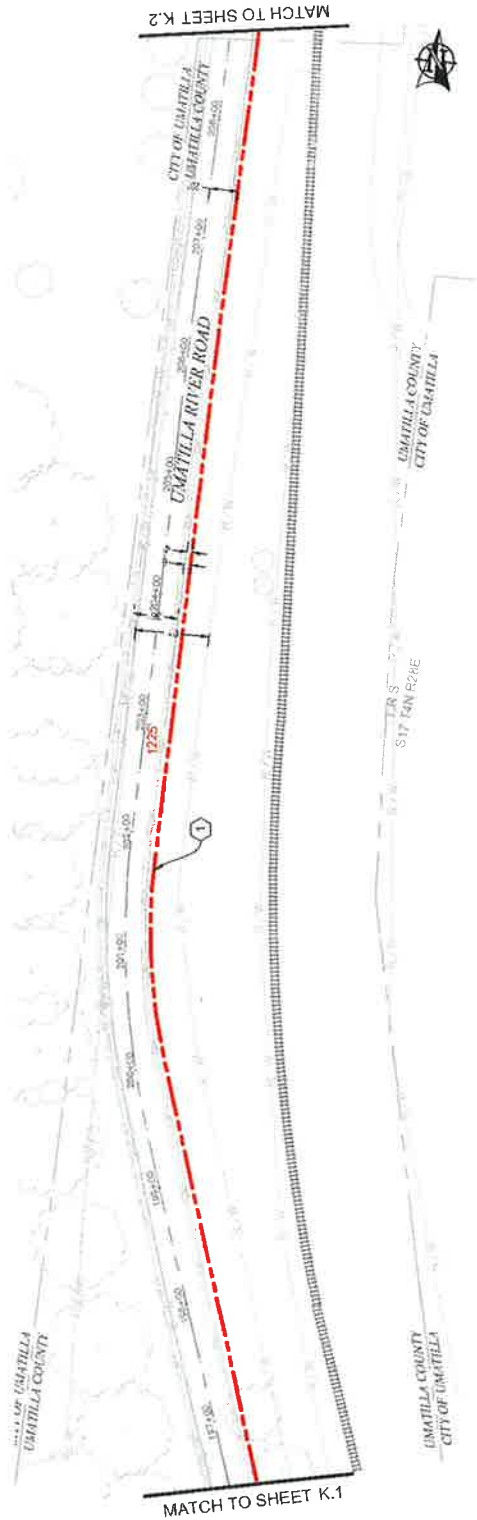
Zayo
ZAYO ENGINEER DANIEL COOK
ENGINEERING FROM MGS TELEMATICAL CONSULTING INC.
PROJECT NUMBER ...
LOCATION: 8222 EASTPORT RD
UMATILLA, OR 97146
DRAWN BY: ZAYO ENGINEERING
DATE: 8/24/17
SHEET 11 OF 11

CONSTRUCTION NOTES

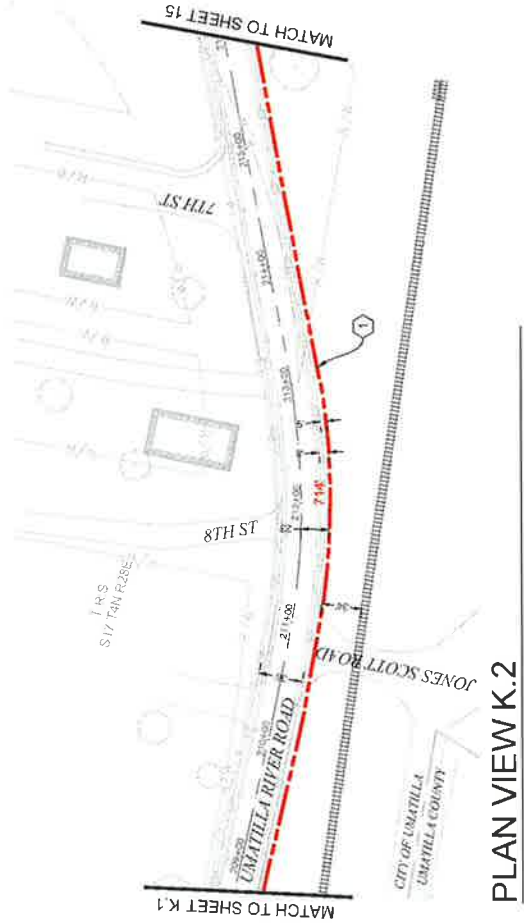
- 1 PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SDR 11 INDUCTIVE PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTACT LOCAL UTILITY TO POINTE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW K.1



PLAN VIEW K.2



Report before
Call before dig



SCALE: 1" = 100'

NO.	DATE	ENGINEER	DESIGNER	COMMIT	REVISION	DESCRIPTION
1	8/24/17	LS	JLB	ORIGINAL		



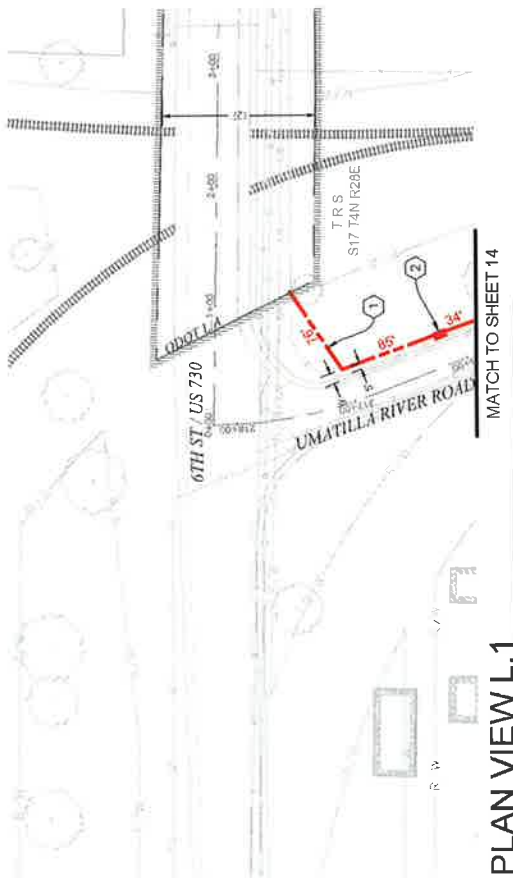
ZAYO ENGINEER - DAYTON OHIO
 ENGINEERING FIRM 1750 E. FIFTH AVENUE, SUITE 100
 DAYTON, OHIO 45424-1000
 PROJECT: 1750 E. FIFTH AVENUE, SUITE 100
 LOCATION: 1750 E. FIFTH AVENUE, SUITE 100
 DRAWING: 1750 E. FIFTH AVENUE, SUITE 100
 SHEET: 1750 E. FIFTH AVENUE, SUITE 100

CONSTRUCTION NOTES

- (1) PROPOSED ROPE NEW (3) 2" AND (1) 1.25" HOPE SDR 11 UNDERDUT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30"x48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24"x36" BULK SERIES 4 VAULT. PULL FIBER THROUGH. IMP SUBJECT TO CHANGE LOCATION. SEE VAULT DIAGRAM V-2 ON SHEET 2B. SEE VAULT DETAILS ON SHEET 2A.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT



PLAN VIEW L.1



Keep what's below.
Call before you dig.

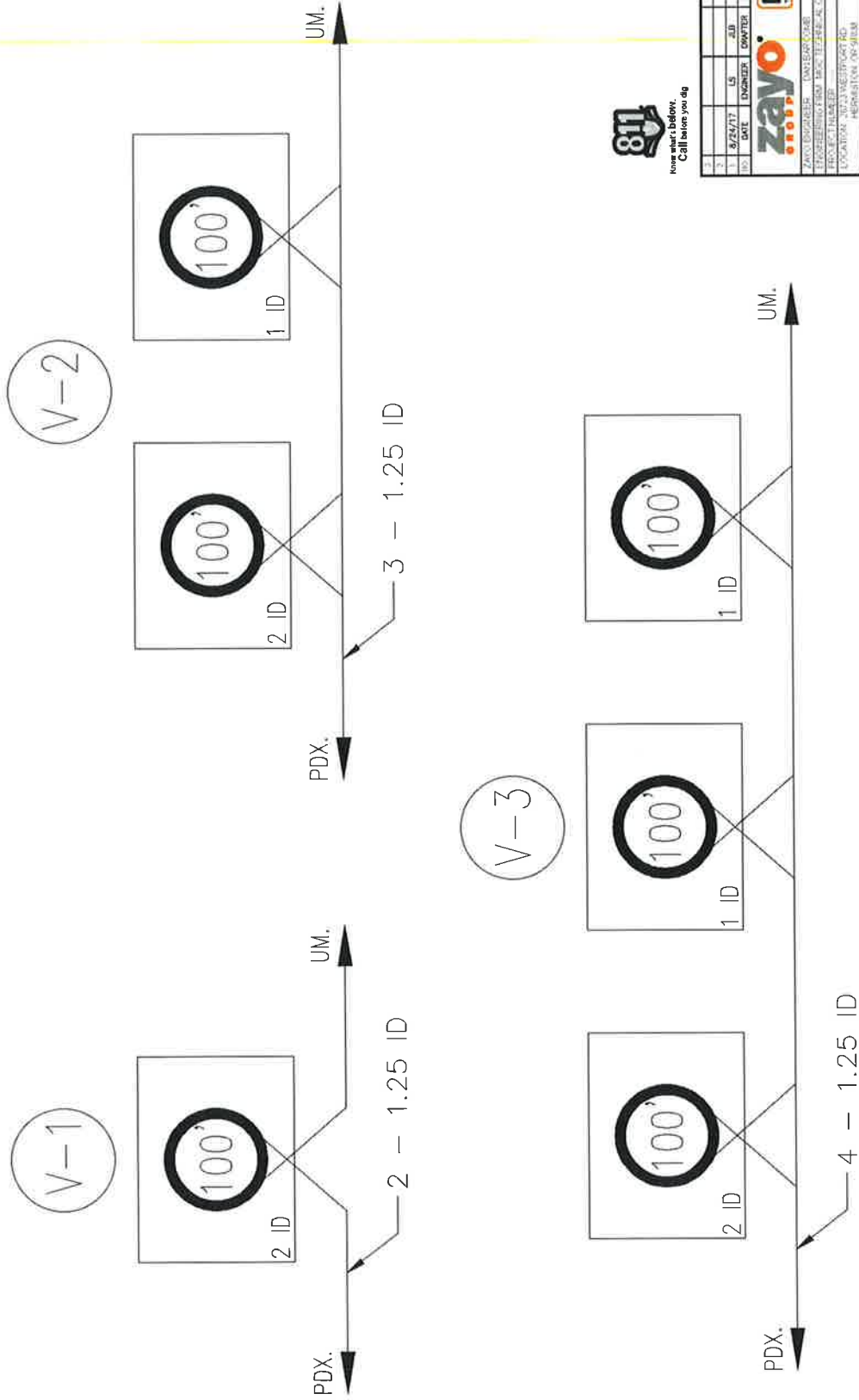


AS-BUILT	REVISION # 1
DATE	JOB
ENGINEER	DRAWER
zayo	
MGC	
ZAYO ENGINEER DAN BARCOMB	
ENGINEERING FIRM MGC TECHNICAL CONSULTING INC.	
PROJECT NUMBER	
LOCATION 3872 WESTPORT RD	
HERMISTON, OR 97138	
DRAWING TITLE: 2400 FIBER OPTIC NETWORKS - B1 PANEL 2.Png	
CONTRACT NUMBER: 2400	
SHEET 15 OF 15	

VAULT DIAGRAM

NOTES:

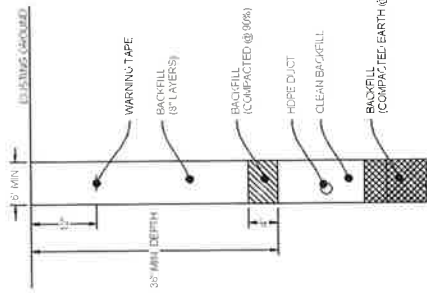
- 1) PLACE 100' STORAGE IN EACH VAULT
- 2) STUB INNERDUCT (3) INCHES INTO VAULT



Know what's below.
Call before you dig

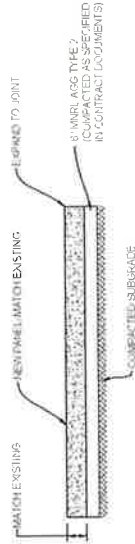
NO.	DATE	ENGINEER	LS	US	JOB	REVISION # 1	AS-BUILT
1						ORIGINAL	
							COMMIT
ZAYO							
MGE							
ZAYO ENGINEERING - UNIVERSITY PARK							
ENGINEERING FIRM - 1600 E. GREEN AC. CIRCLE, ENGLEWOOD, CO 80110							
PROJECT NUMBER							
LOCATION: 3023 WESTPORT RD.							
HERRINGTON, CO 80115							
DRAWN BY: T.H.B. AND J.H.B.							
CHECKED BY: T.H.B. AND J.H.B.							
SHEET NO. OF 12							

UNDERGROUND TYPICALS



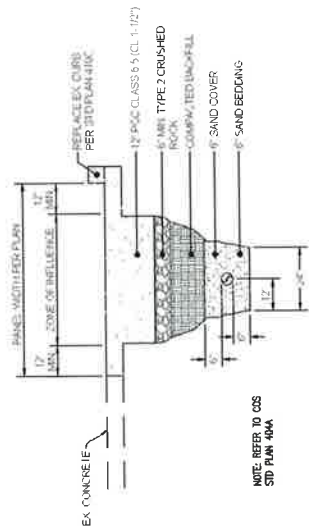
TYPICAL TRENCH IN SOIL DETAIL

SCALE: NTS



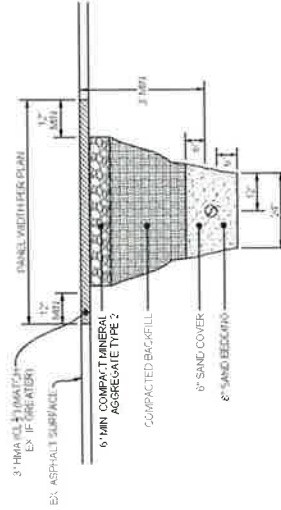
TYPICAL CONCRETE PANEL CROSS SECTION DETAIL

SCALE: NTS



TYPICAL CONCRETE TRENCH DETAIL

SCALE: NTS



TYPICAL PATCH TRENCH DETAIL

SCALE: NTS



NO.	DATE	BY	CHKD.	APP'D.	REVISION	COMMENT
1	8/24/17	LS	JAB		ORIGINAL	
2						

811 Before you dig

zayo
Engineering & Construction

PROJECT: [REDACTED]
LOCATION: [REDACTED]
DATE: [REDACTED]

DESIGNED BY: [REDACTED]
CHECKED BY: [REDACTED]
DRAWN BY: [REDACTED]

SCALE: AS SHOWN

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: ZAYO - BOARDMAN TO UMATILLA - ODOT - US 730 - SEG C2



SITE LOCATION
 BILL OF MATERIALS

NEW AERIAL	*	0 FT.
OVERLASH	*	0 FT.
NEW UNDERGROUND	*	22578 FT.
EXISTING UNDERGROUND	*	0 FT.
RISERS	*	0 FT.
ISP	*	0 FT.
TOTAL FOOTAGE	*	22578 FT.



SCALE: NTS

CONTACTS

ZAYO CONTACT
 DAN BARCLOMB
 22651 8RD AVE S
 KENT WA 98032
 C-369 727 3346
 DANBARC@ZAYO.COM

LEVI SPIRIET
 M&C TECHNICAL CONSULTING INC
 9244 185TH AVE NE
 REDMOND, WA 98052
 206-885-1111
 LEV@MGTTECHNICAL.COM

SHEET INDEX

- COVER SHEET / SITE LOCATION**
1. COVER SHEET / SITE LOCATION
 2. LEGEND
 3. LEGEND NOTES
 - 4-17. PLAN VIEWS A-N
 18. VAULT DIAGRAM
 19. VAULT TYPICAL
 20. UNDERGROUND TYPICALS

SCOPE OF WORK

BEGINNING ON 3RD ST. EAST OF MONARY HWY. PROPOSED BORE NEW 9" 7' AND 10" 7' UNDERGROUND UNDER 75' AND 10' 7' BROWNS HILL BLVD HWY 75 SOUTH ST. BEACH ACCESS RD. ROXBURY RD. 81D BRADDER RD. 81C BRADDER RD. 81E BRADDER RD. COLUMBIE BLVD. PULL FLEET CALE AND THROUGH PLACE VAULTS ALONG THE WAY.

1	AS-BUILT				
2	EVG/CON	F 1			
3	18.17	US	DN		
4	DATE	ENGINEER	CHAPTER		
 					
ZAYO ENGINEER: DAN BARCLOMB					
ENGINEERING FIRM: M&C TECHNICAL CONSULTING INC					
PROJECT NUMBER: MUNGER LANE					
LOCATION: UMATILLA, OR 97882					
PROJECT TITLE: ZAYO - BOARDMAN TO UMATILLA - ODOT - US 730					
DATE: 08/14/2018					
DRAWN BY: DAN BARCLOMB					
CHECKED BY: DAN BARCLOMB					
SCALE: 1" = 40'					

LEGEND

LINETYPES

-----	AERIAL FIBER - EXISTING
-----	AERIAL FIBER - ATTACH
-----	AERIAL FIBER - OVERLASH
-----	STRAND - EXISTING
-----	STRAND - PROPOSED
-----	CONDUIT - EXISTING
-----	CONDUIT - PROPOSED
-----	INNERDUCT - EXISTING
-----	INNERDUCT - PROPOSED
-----	GAS
-----	WATER
-----	TELEPHONE
-----	FIBER OPTIC
-----	ELECTRIC
-----	SANITARY SEWER (SEW)
-----	STORM DRAIN
-----	CABLE TV
-----	STEAM
-----	OIL
-----	UNKNOWN UTILITY
-----	FENCE
-----	RIGHT OF WAY
-----	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EDP	EDGE OF PAVEMENT
EDTW	EDGE OF TRAVEL WAY
F/C	FACE OF CURB
F/O	FIBER OPTIC
HOPE	HIGH DENSITY POLYETHYLENE
HI	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RCS	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA.	STATION
STM	STEAM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING		TRANSMISSION/DISTRIBUTION POLE
	RISER - PROPOSED		TRANSMISSION POLE
	CATCH BASIN/INLET (RECTANGULAR)		DISTRIBUTION POLE
	CATCH BASIN/INLET (ROUND)		GROUND/BOND
	FIRE HYDRANT		AERIAL STORAGE - EXISTING
	WATER/GAS VALVE		AERIAL STORAGE - PROPOSED
	LIGHT POST		VAULT/BUILDING STORAGE - EXISTING
	STREET LIGHT		VAULT/BUILDING STORAGE - PROPOSED
	TRAFFIC LIGHT ARM		POLE ANCHOR/DOWN GUY - EXISTING
	TREE		POLE ANCHOR/DOWN GUY - PROPOSED
	CULVERT		DOWN GUY TO EXISTING ANCHOR - PROPOSED
	WING WALL		SPLICE POINT - EXISTING
	BRIDGE		SPLICE POINT - PROPOSED
	STREET SIGN		TERMINATION - EXISTING
	ADA RAMP		TERMINATION - PROPOSED
	UTILITY POLE - EXISTING		PULLBOX - EXISTING
	UTILITY POLE - PROPOSED		PULLBOX - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		CONSTRUCTION NOTE / RESTORATION CALLOUT
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)		PHOTO-MARKER
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		NORTH ARROW
	HANDHOLE - PROPOSED (SIZE MAY VARY)		
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	PEDESTAL - PROPOSED (SIZE MAY VARY)		
	MET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	MET UTILITY MANHOLE - PROPOSED (SIZE AND UTILITY TYPE MAY VARY)		
	BORE PIT - PROPOSED (SIZE MAY VARY)		
	UTILITY POTHOLE		

INFORMATION TABLES

POLE NUMBER:	EXISTING UTILITY:	PROPOSED ATTACH:	UTILITY POLE INFORMATION TABLE (NUMBER OF ATTACHMENTS MAY VARY)
#F	IN: OUT:	IN: OUT:	SEQUENTIAL IN/OUT CALLOUT
#F	IN: TAIL: OUT:	IN: TAIL: OUT:	SEQUENTIAL IN/TAI CALLOUT
#F	TAIL: OUT:	TAIL: OUT:	SEQUENTIAL TAIL/OUT CALLOUT

HATCH PATTERNS

	CONCRETE SIDEWALK
	GRASS/VEGETATION
	GRAVEL
	WATER



zayo
 MGS
 800.875.4629
 14400 N. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TEXAS 75243
 PROJECT: 14400 N. CENTRAL EXPRESSWAY, SUITE 200
 SHEET: 2 OF 2

GENERAL NOTES

GENERAL NOTES:
The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE ODOT REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS. THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE ODOT INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNER OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORD DRAWINGS, FIELD SURVEY, AND OTHER AVAILABLE INFORMATION. WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD TO VERIFY THE LOCATION OF UTILITIES SHOULD BE USED TO CORRECT ANY ERRORS. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE ODOT INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE ODOT AND ALL UTILITY COMPANIES WITH REGARD TO EXCAVATION AND REPAIRS TO EXISTING UTILITIES DURING CONSTRUCTION. TO ASSURE THAT THE WORK IS COMPLETED IN A TIMELY FASHION, AND WITH A MINIMUM DISRUPTION OF SERVICE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE ODOT, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH THE ODOT STANDARDS FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS PRIOR TO INSTALLATION. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH ODOT.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE ODOT INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE ODOT ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE ODOT.



1	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
2	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
3	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
4	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
5	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
6	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
7	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
8	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
9	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
10	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
11	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
12	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
13	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
14	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
15	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
16	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
17	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
18	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
19	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
20	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
21	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
22	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
23	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
24	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
25	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
26	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
27	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
28	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
29	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
30	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
31	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
32	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
33	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
34	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
35	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
36	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
37	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
38	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
39	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
40	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
41	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
42	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
43	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
44	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
45	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
46	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
47	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
48	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
49	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
50	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
51	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
52	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
53	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
54	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
55	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
56	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
57	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
58	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
59	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
60	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
61	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
62	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
63	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
64	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
65	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
66	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
67	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
68	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
69	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
70	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
71	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
72	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
73	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
74	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
75	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
76	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
77	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
78	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
79	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
80	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
81	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
82	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
83	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
84	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
85	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
86	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
87	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
88	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
89	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
90	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
91	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
92	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
93	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
94	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
95	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
96	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
97	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
98	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
99	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION
100	DATE	DESIGNED BY	DRAWN BY	SCALE	REVISION



ENGINEER: 575 BUCKINGHAM
 ENGINEER: MGC TECHNICAL CONSULTING, INC.
 LOCATION: 1234 MAIN STREET
 CITY: MOBILE, AL 36688
 PHONE: (205) 555-1234
 FAX: (205) 555-5678
 WWW: WWW.MGC-TECH.COM

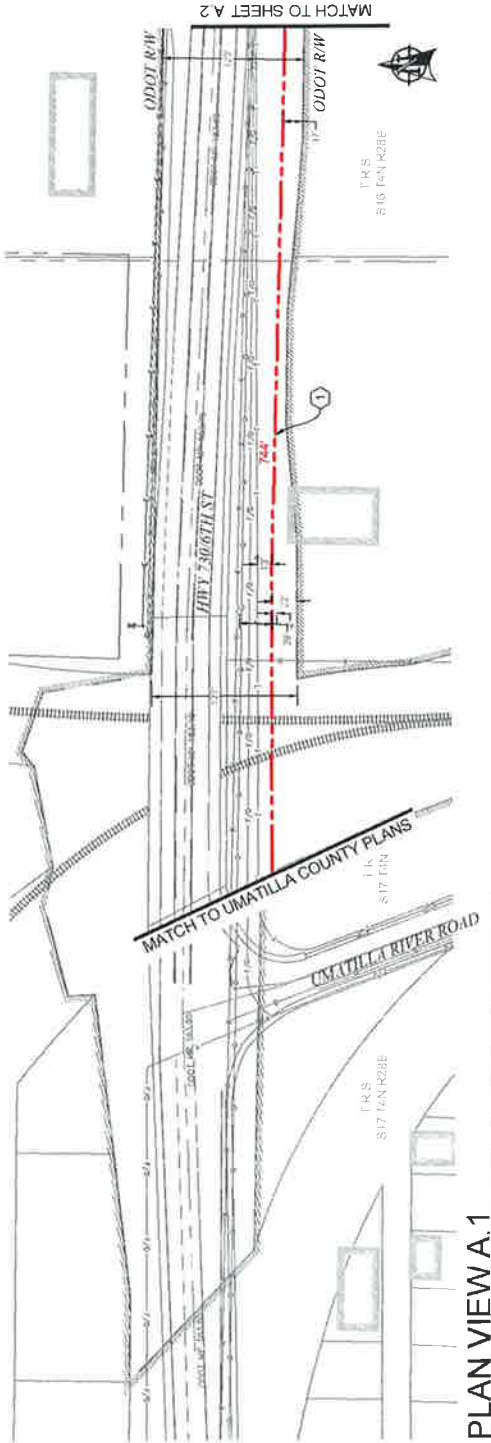
CONSTRUCTION NOTES

- ① PROPOSED BORE NEW (3) 2" AND (1) 1.25" HOPE SOR SURFACE. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PORTHOLE UTILITIES PRIOR TO CONSTRUCTION.

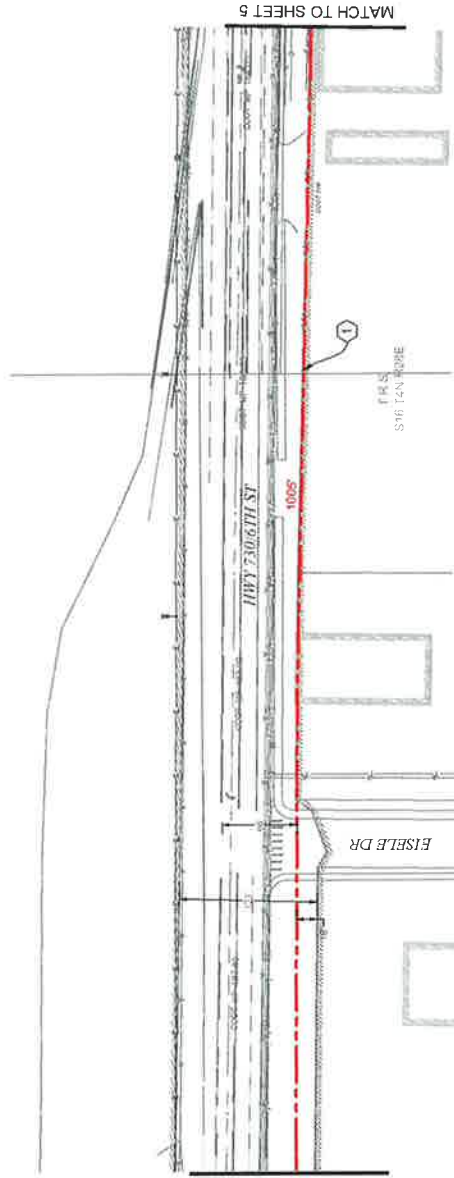
- ② PROPOSED FRASE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED FRASE (1) 24" X 48" BULK SERIES 4 VAULT. PULL FIBER THROUGH. SEE VAULT PROGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EX-H WALL.



PLAN VIEW A.1



PLAN VIEW A.2



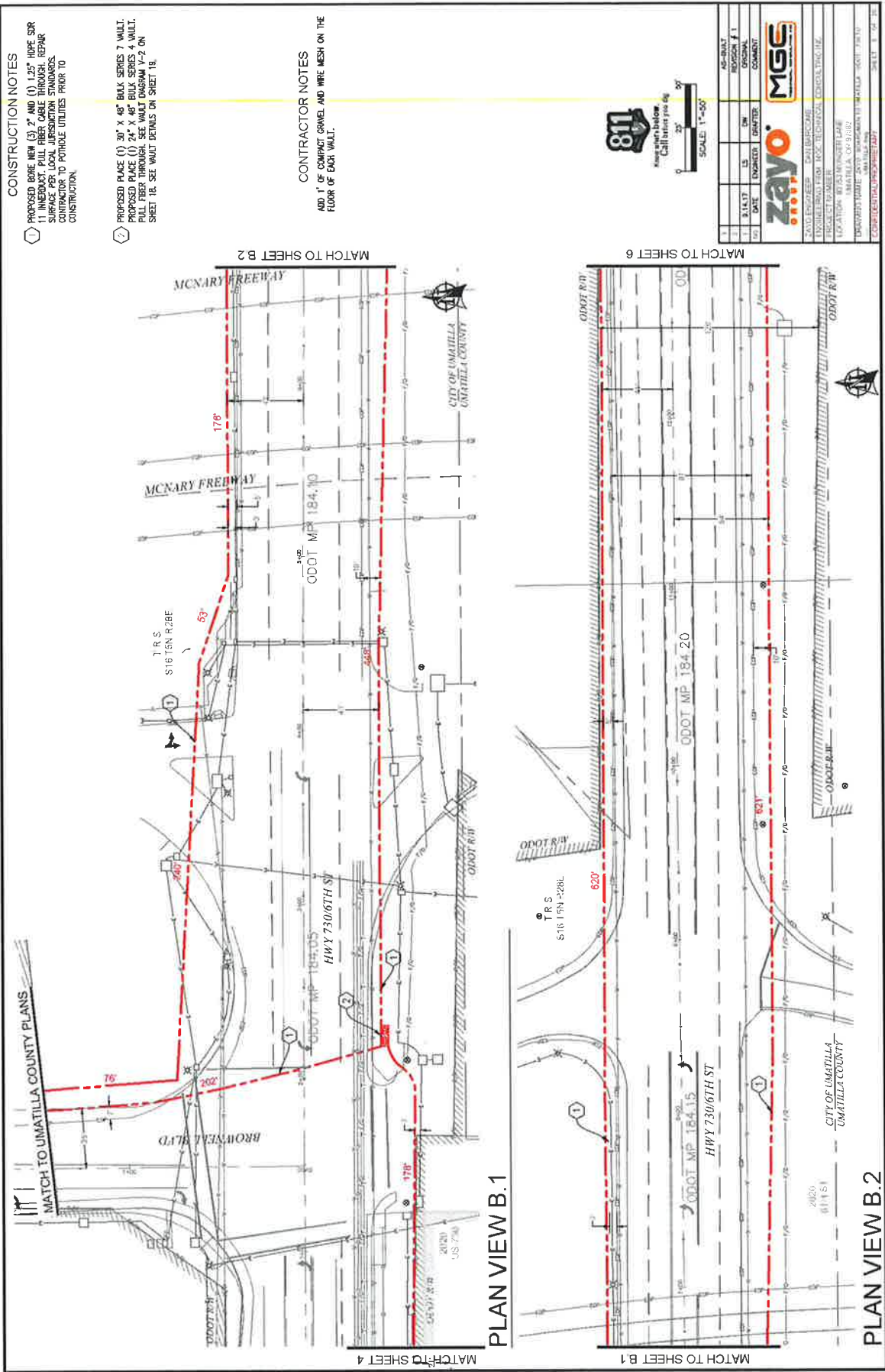
Know what's below.
Call before you dig.

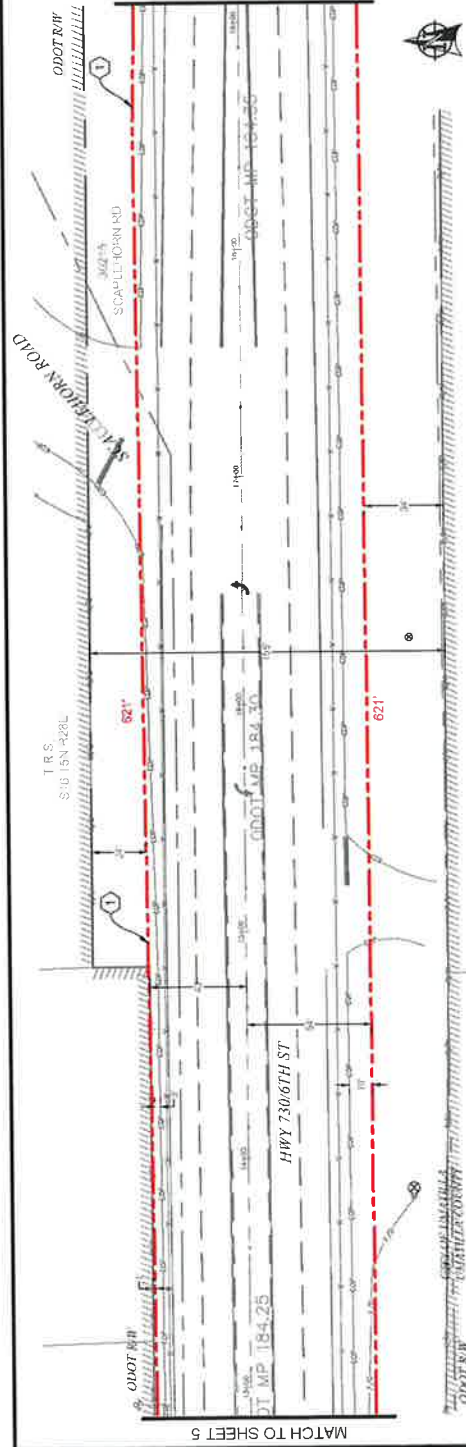


NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
1	11/17/17	ISSUE FOR CONSTRUCTION	MSG		
2	11/17/17	ISSUE FOR CONSTRUCTION	MSG		

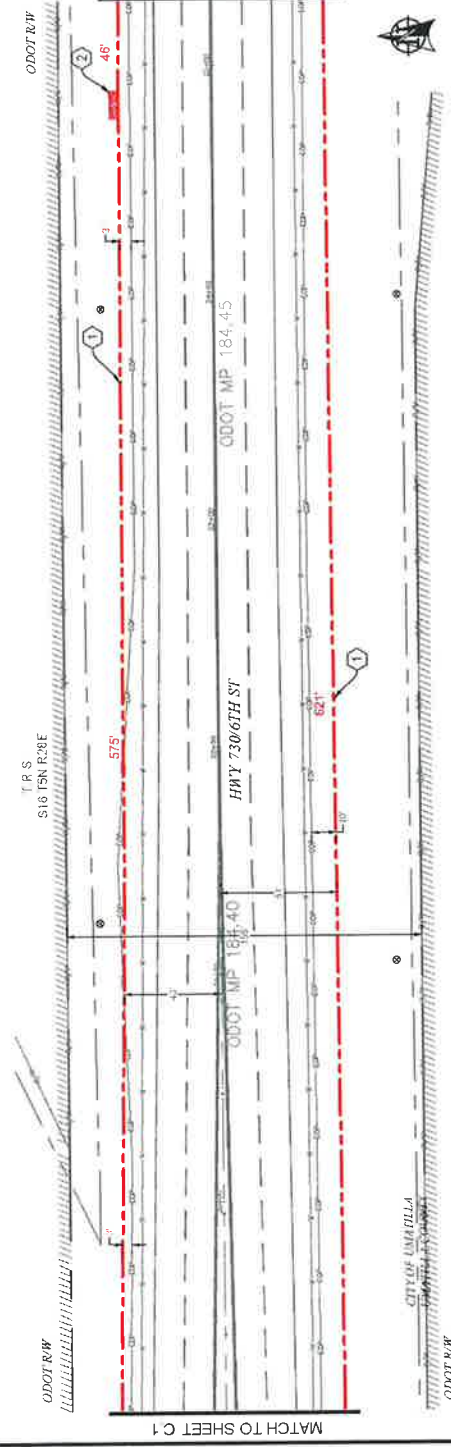


ZAYO PROJECT: 10418020000
 ENGINEERING: MILE TECHNICAL CONSULTING
 10418020000 - UMATILLA, OR 97137
 PROJECT NAME: 2017 HOPE SOR SURFACE
 SHEET: 1 OF 18





PLAN VIEW C.1



PLAN VIEW C.2

CONSTRUCTION NOTES

1) PROPOSED BORE NEW (3) 3" AND (1) 1.25" HOLE SIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PORTABLE UTILITIES PRIOR TO CONSTRUCTION.

2) PROPOSED PLACE (1) 30" X 48" BULK HEADS 7' VAULT. APPROXIMATELY 30' X 48" BULK HEADS 4' VAULT. PULL FIBER THROUGH. SEE WALK DIAGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 18.

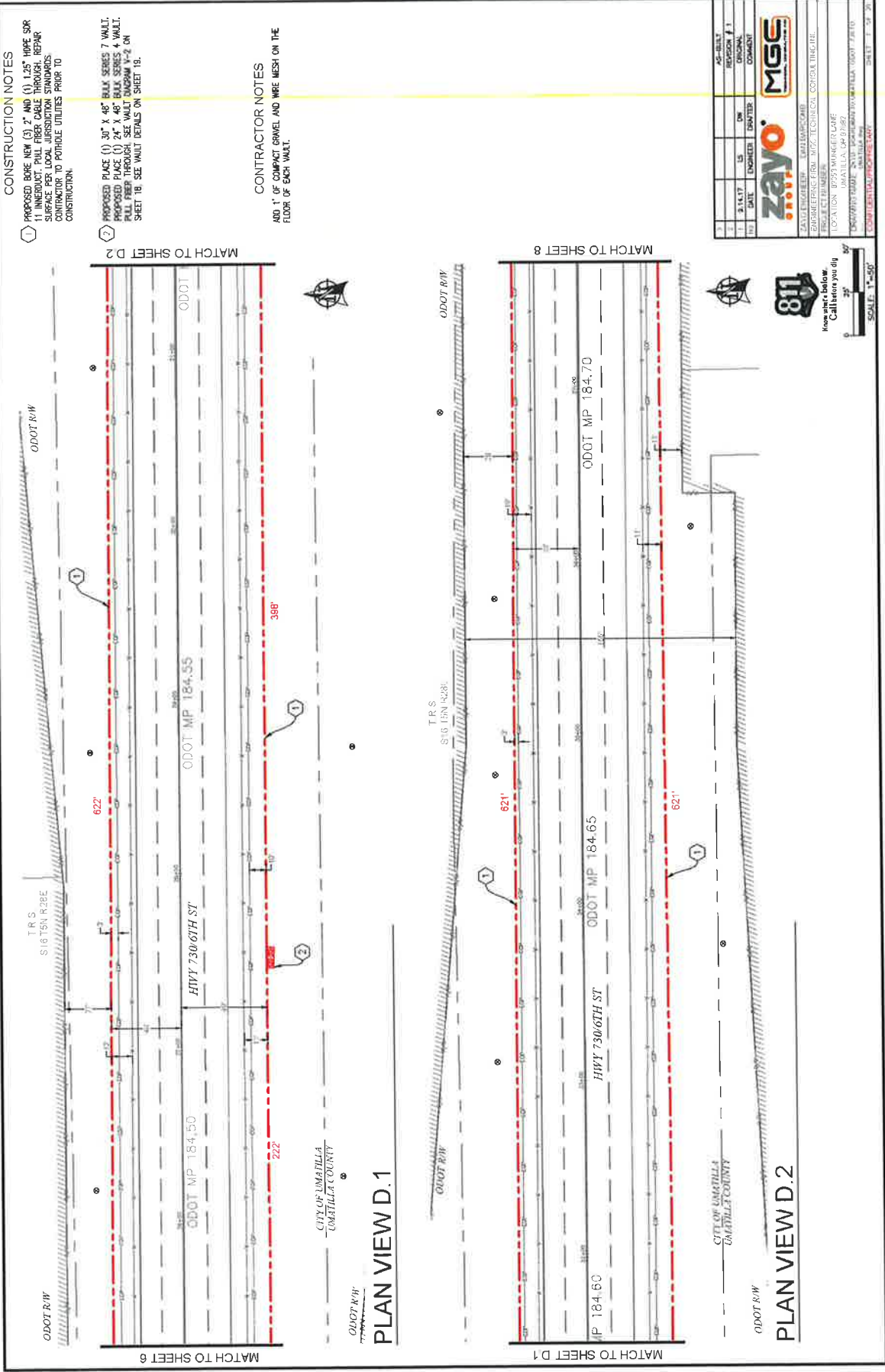
CONTRACTOR NOTES

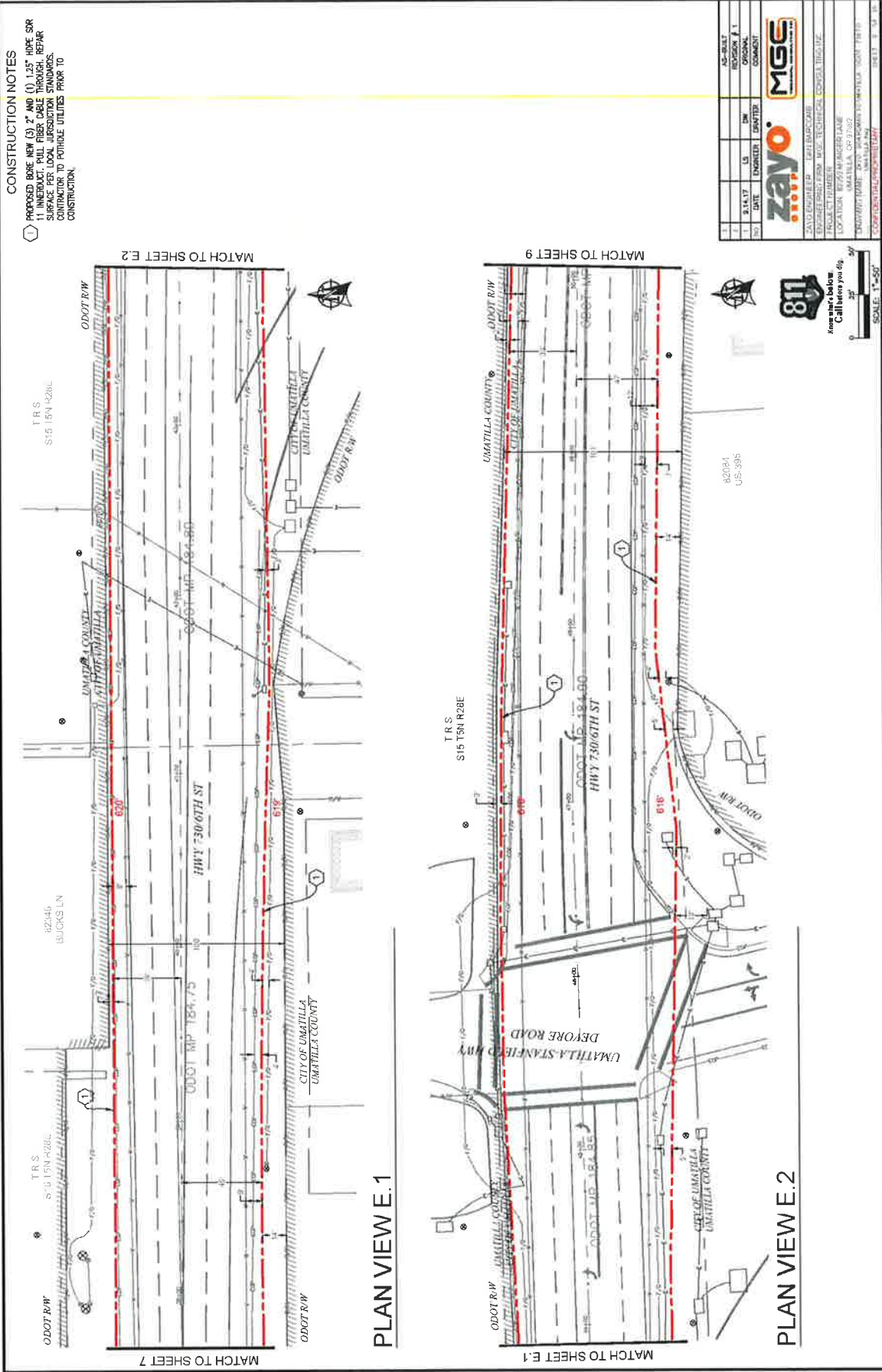
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

1	DATE	ENGINEER	DATE	DESIGNER	DATE	AS-BUILT REGION # 1
2	DATE	ENGINEER	DATE	DESIGNER	DATE	AS-BUILT REGION # 1
3	DATE	ENGINEER	DATE	DESIGNER	DATE	AS-BUILT REGION # 1

ZAYO MGC

PROJECT: HWY 7306TH ST
 LOCATION: MARILLA, OH 43040
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1"=50'





CONSTRUCTION NOTES
 (1) PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SRR
 11 INJECT, PULL FIBER CABLE THROUGH, REPAIR
 SURFACE PER LOCAL JURISDICTION STANDARDS.
 CONSTRUCTION TO PROTECT UTILITIES PRIOR TO
 CONSTRUCTION.

1	3/14/17	LS	DN	DATE	ENGINEER	QUANTITY	COMMENT
2							

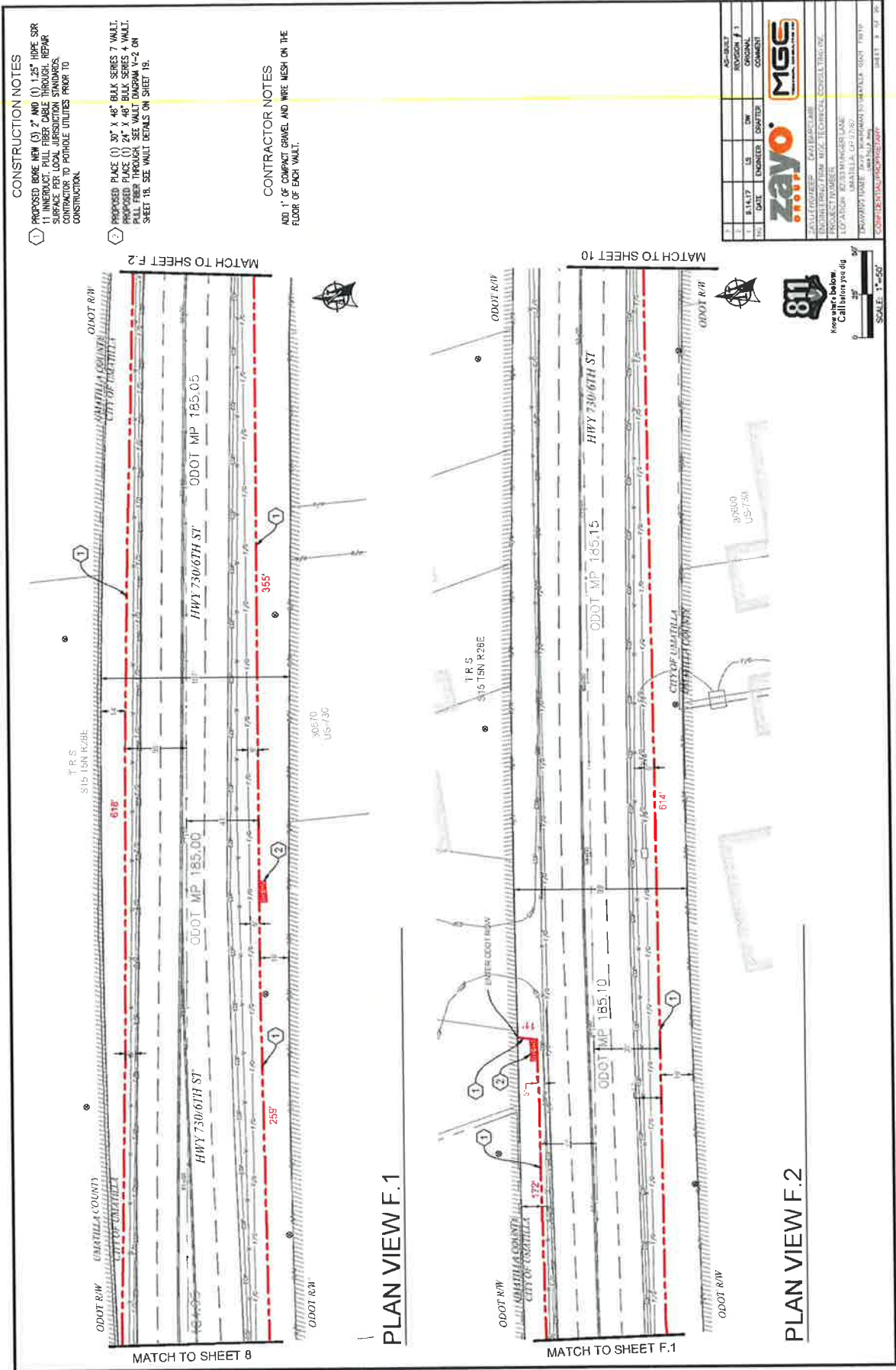
zayo
 ENGINEERING & CONSULTING

MGE
 MASONRY & GEOTECHNICAL ENGINEERING

STATE OF OREGON
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12220
 PROJECT NUMBER: 17-001
 LOCATION: HWY 730/6TH ST
 UMATILLA, OR 97152
 DRAWING NUMBER: 17-001-1001-1001-1001
 SHEET 1 OF 1

811
 Know what's below.
 Call before you dig.

SCALE: 1"=50'



CONSTRUCTION NOTES

1) PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PORTHOLE UTILITIES PRIOR TO CONSTRUCTION.

2) PROPOSED PLACE (1) 3/4" X 48" BULK HEADS 7' VAULT. PULL FIBER THROUGH. (1) 3/4" X 48" BULK HEADS 7' VAULT. PULL FIBER THROUGH. SEE VAULT DMS204 V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 18.

CONTRACTOR NOTES

ADD 4" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

NO.	DATE	ENGINEER	DESIGNED	COMMENTS
1	8.14.17	US	HW	PROGNOSE F.1
2				

ZAYO **MGS**

PROJECT: ZAYO MGA TELECOM EXPANSION
 LOCATION: 730/6TH ST
 DRAWING NUMBER: 18A001A-01-01
 CONTRACTOR: MGS

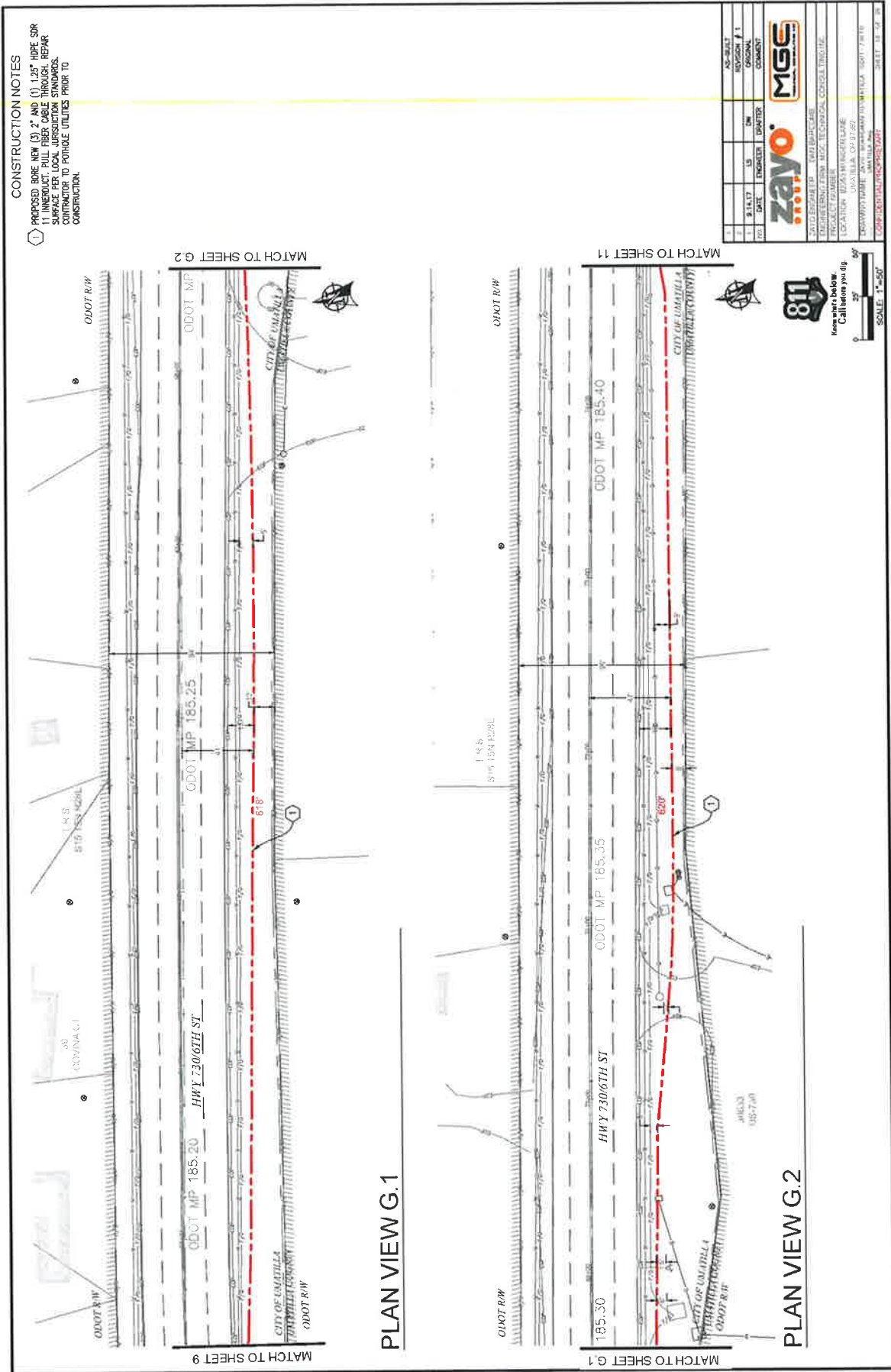
811

Know what's below
Call before you dig

SCALE: 1"=50'

PLAN VIEW F.1

PLAN VIEW F.2



CONSTRUCTION NOTES

- PROPOSED BORE HOLE (3) 2" AND (1) 1.25" HOPE SRR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTHOLE UTILITIES PRIOR TO CONSTRUCTION.
- PROPOSED PLACE (1) 30" x 40" BULK, SERIES 7 WALL. PULL FIBER THROUGH. SEE WALT DRAWING W-2 ON SHEET 18. SEE WALT DETAILS ON SHEET 18.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH WALL.

PLAN VIEW H.1

MATCH TO SHEET 10

ODOT R/W

1" x 3" S*15 15N R26L

ODOT MP 185.50

308'

308'

CITY OF ULMARILLA

30556-30592 COLUMBIA HWY

ODOT R/W

MATCH TO SHEET H.2

PLAN VIEW H.2

MATCH TO SHEET 11

ODOT R/W

1" x 3" S*15 15N R26L

ODOT MP 185.35

HI Y 7306TH ST ODOT MP 185.60

620'

620'

CITY OF ULMARILLA

60586 COLUMBIA HWY

ODOT R/W

MATCH TO SHEET 12

CONSTRUCTION NOTES

- PROPOSED BORE HOLE (3) 2" AND (1) 1.25" HOPE SRR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTHOLE UTILITIES PRIOR TO CONSTRUCTION.
- PROPOSED PLACE (1) 30" x 40" BULK, SERIES 7 WALL. PULL FIBER THROUGH. SEE WALT DRAWING W-2 ON SHEET 18. SEE WALT DETAILS ON SHEET 18.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH WALL.

PLAN VIEW H.2

MATCH TO SHEET 11

ODOT R/W

1" x 3" S*15 15N R26L

ODOT MP 185.35

HI Y 7306TH ST ODOT MP 185.60

620'

620'

CITY OF ULMARILLA

60586 COLUMBIA HWY

ODOT R/W

MATCH TO SHEET 12

811

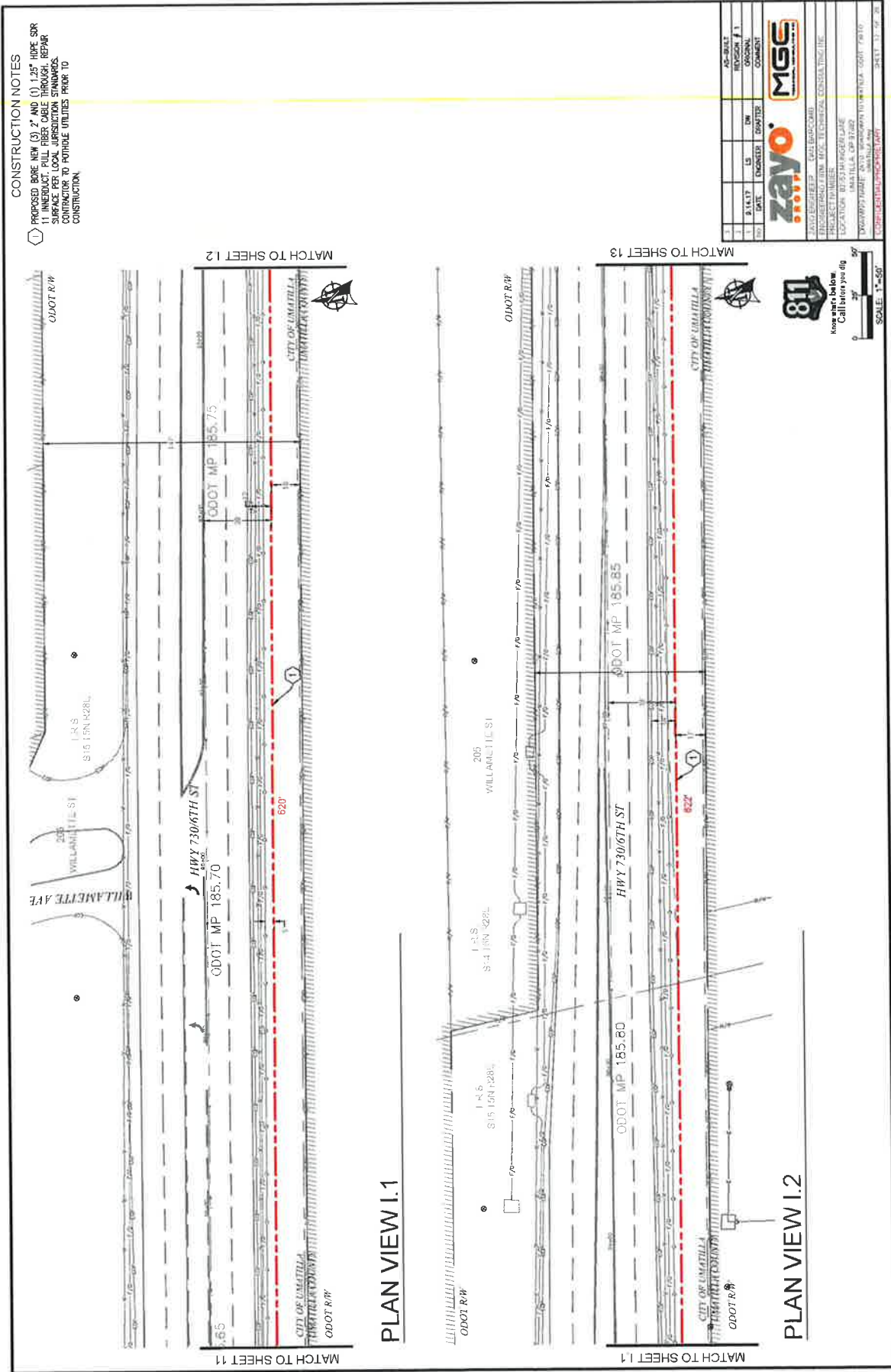
See the Yellow Callouts you dig

SCALE: 1"=50'

1	DATE	DESIGNED	CHECKED	AS-BUILT
2	DATE	DESIGNED	CHECKED	REVISION # 1
3	DATE	DESIGNED	CHECKED	COMMENT

zayo **MGC**

ZAYO PROJECT # 0417 2017-2018
 LICENSED FROM MGA, TECHNICAL EXPRESS, INC/OTIE
 11000 W. 10TH AVENUE, SUITE 1000
 DENVER, CO 80202
 CONTACT: 877-555-7828
 PROJECT: ULMARILLA, CO 81002
 DRAWING: 811, 811-01-01-01-01-01-01-01
 CONTRACTOR: MGC



CONSTRUCTION NOTES

1. PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SPR
 11. INNERDUCT, PULL FIBER CABLE THROUGH. REPAIR
 SURFACE PER LOCAL JURISDICTION STANDARDS.
 CONTRACTOR TO FURNISH UNITS PRIOR TO
 CONSTRUCTION.

NO.	DATE	ENGINEER	STATUS	BY	DATE	REVISION	COMMENT
1	11/14/17	LS	DRW				
2							

zayo
 zayo.com

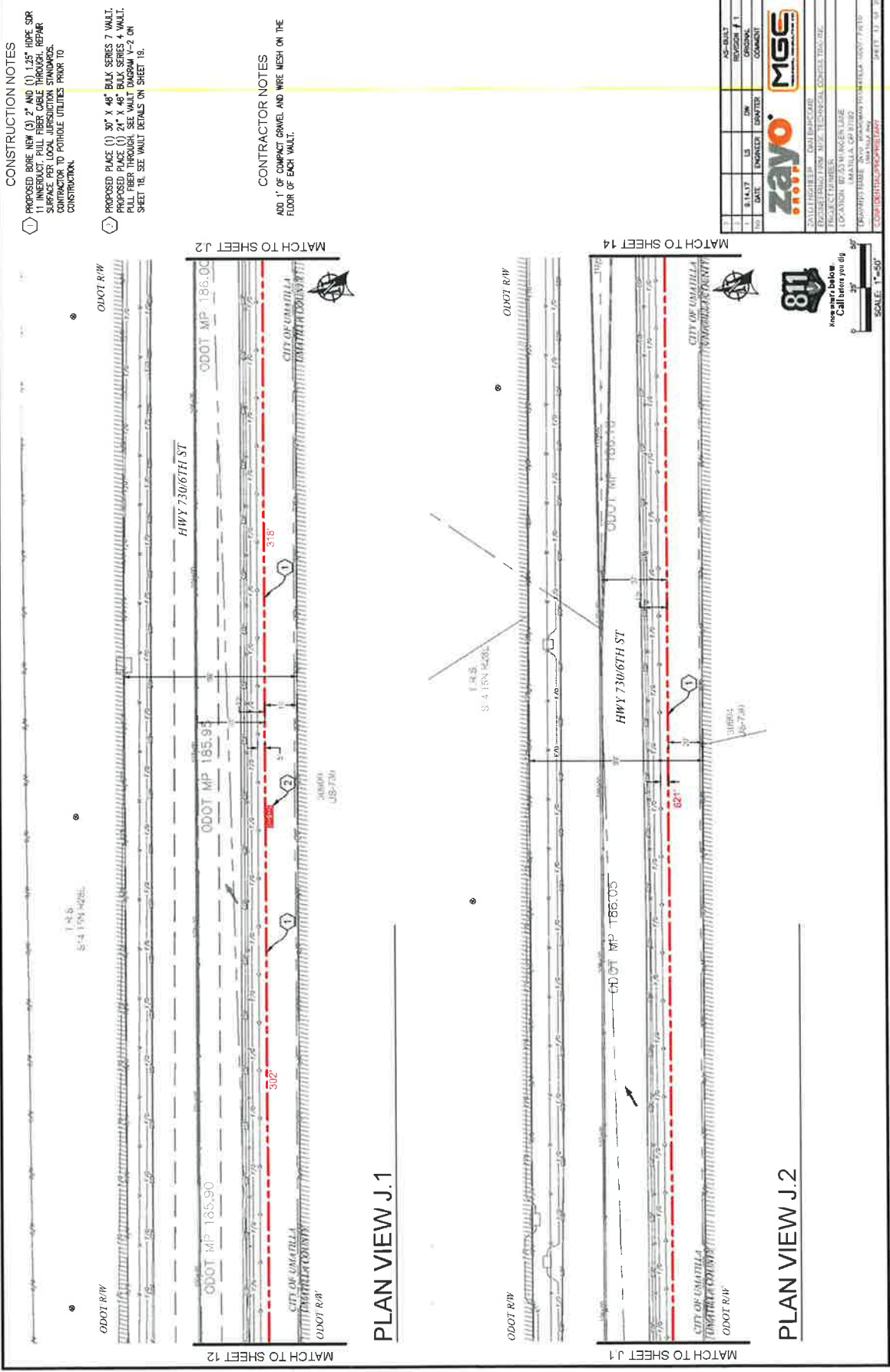
MGS
 MGS CONSULTING ENGINEERS, INC.

PROJECT NUMBER: MGS-17-00000000000000000000
 LOCATION: 07.53 IN RIDGE LAKE
 DRAWING TITLE: UMATILLA, CPM 17002
 PROJECT NUMBER: 07.53 IN RIDGE LAKE - CPM 17002
 SHEET: 11 OF 11

811

Know what's below
 Call before you dig

SCALE: 1" = 40'



CONSTRUCTION NOTES

① PROPOSED BORE NEW (3) 2" AND (1) 1.57" HDPE SPR
 11 INNERDUCT. PULL FIBER CABLE THROUGH. REPAIR
 SURFACE PER LOCAL JURISDICTION STANDARDS.
 APPROVE AND POUR/POUR UTILITIES PRIOR TO
 CONSTRUCTION.

② PROPOSED PLACE (1) 36" X 48" BULK SERIES 7 VAULT.
 PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
 PULL FIBER THROUGH. SEE VAULT DIAGRAM V-2 ON
 SHEET 18. SEE VAULT DETAILS ON SHEET 18.

CONTRACTOR NOTES

AND 1" OF COMPACT GRAVEL AND WIRE MESH ON THE
 FLOOR OF EACH VAULT.

PLAN VIEW J.1

PLAN VIEW J.2

1	DATE	ES	DM	APPROVAL	NO. ONLY	NO. ONLY
2	DATE	ENGINEER	DATE	COMMENT		

zayo
 MGS

CONTRACTOR: [Name]
 PROJECT: [Name]
 LOCATION: [Name]
 DRAWING: [Name]

811
 Know what's below
 Call before you dig

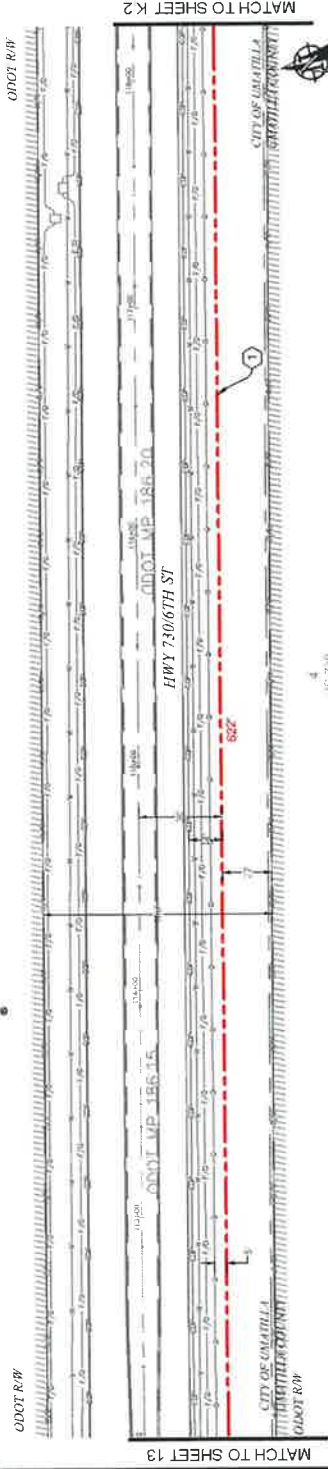
SCALE: 1"=50'

CONSTRUCTION NOTES

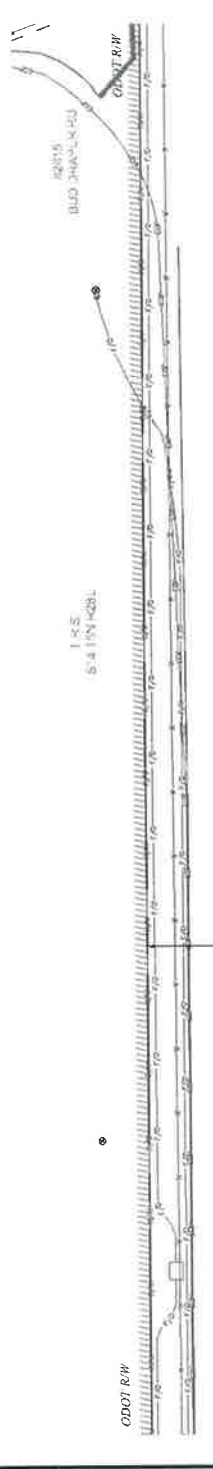
CONTRACTOR NOTES

CONSTRUCTION NOTES

- PROPOSED BORE NEW (3) 2" AND (1) 1.25" HOPE SDR 11 INNERDUCT, PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POthOLE UTILITIES PRIOR TO CONSTRUCTION.



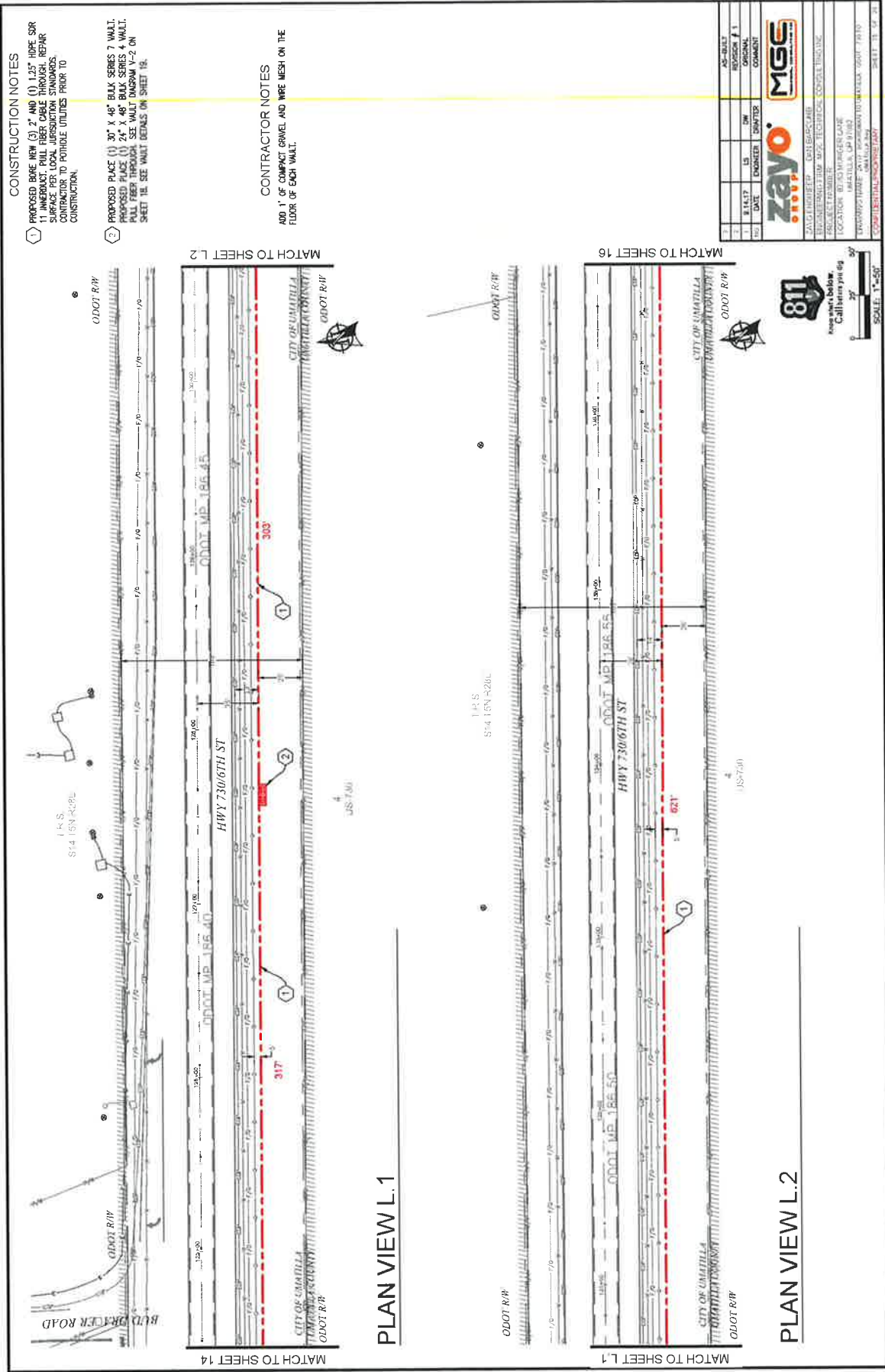
PLAN VIEW K.1



PLAN VIEW K.2

1	DATE	ENGINEER	DATE	REGION #	AC-BUILT
2					
zayo MGS					
ZAYO ENGINEERING, P.C. 1241 BIRCHMOUNT ROAD, UMATILLA, OR 97130					
REGISTRATION NO. TECHNICAL CONSULTING					
PROJECT NO. 2023-008-001					
LOCATION: UMATILLA, OR 97130					
DRAWING NAME: ZAYO BIRCHMOUNT ROAD - HOPE SDR 11					
DATE: 11-18-23					

811
 Know what's below
 Call before you dig
 SCALE: 1"=50'



CONSTRUCTION NOTES

1) PROPOSED BORE NEW (3) 2" AND (1) 1.25" HDPE SUR
1" IMBEDUCT. PULL FIBER CABLE THROUGH. REPAIR
AS NECESSARY TO MAINTAIN PROPER CLEARANCES.
CONTRACTOR TO PORTABLE UNITIES PRIOR TO
CONSTRUCTION.

2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT,
PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
PULL FEED THROUGH SEE VAULT DIAGRAM V-2 ON
SHEET 16. SEE VAULT DETAILS ON SHEET 16.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE
FLOOR OF EACH VAULT.

PLAN VIEW L.1

PLAN VIEW L.2

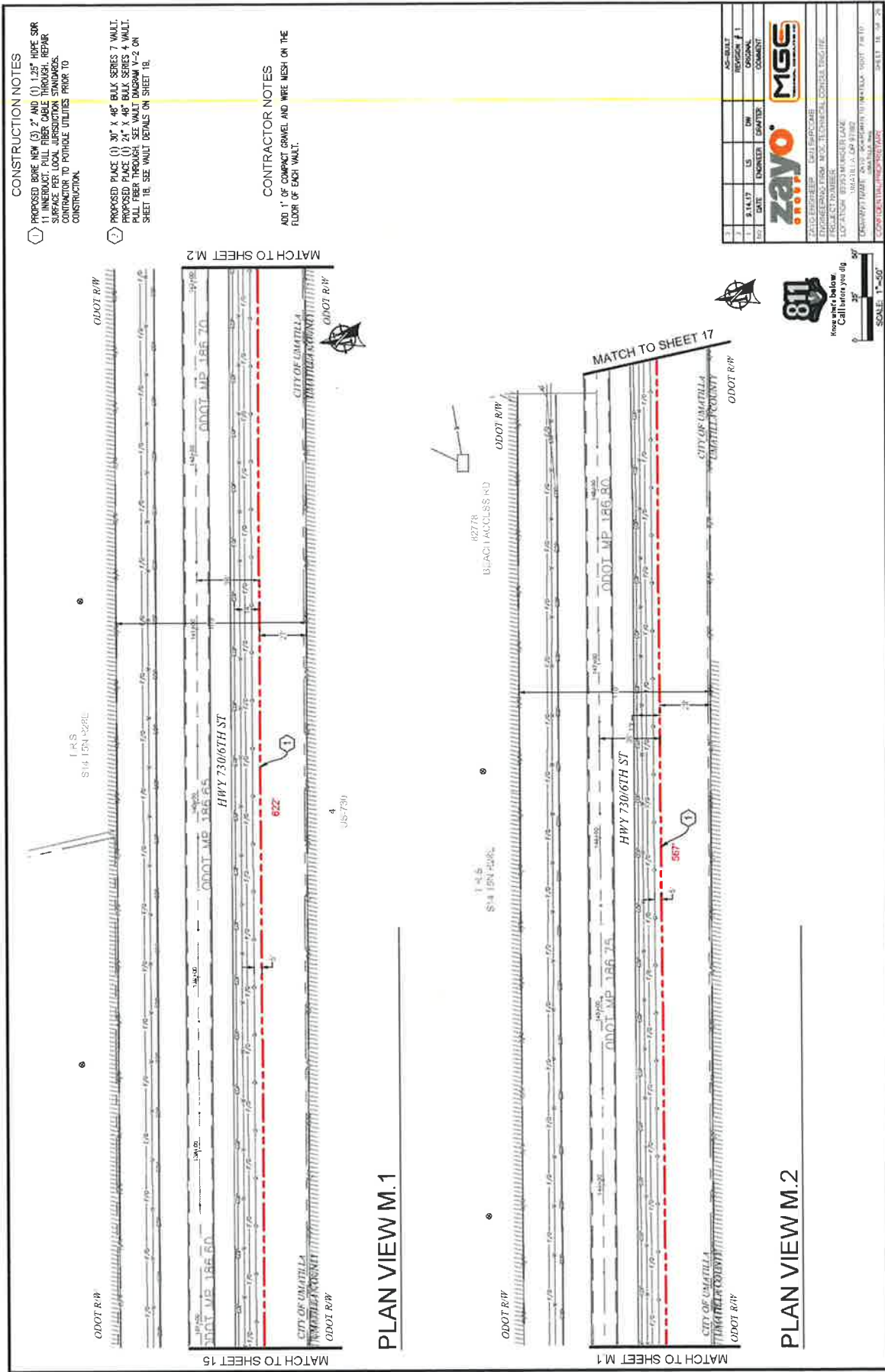
NO.	DATE	BY	CHKD	APP'D	REVISION
1	8/14/17	LS	DN		ORIGINAL
2		ENGINEER	DRAWN		COMMENT



811
Know what's below.
Call before you dig.

SCALE: 1" = 50'

PROJECT NUMBER: 17030 WINGER LAKE
LOCATION: UMATILLA, OR 97103
DRAWN BY: JAMES W. HARRIS
CHECKED BY: JAMES W. HARRIS
DATE: 8/14/17
SHEET 15 OF 26



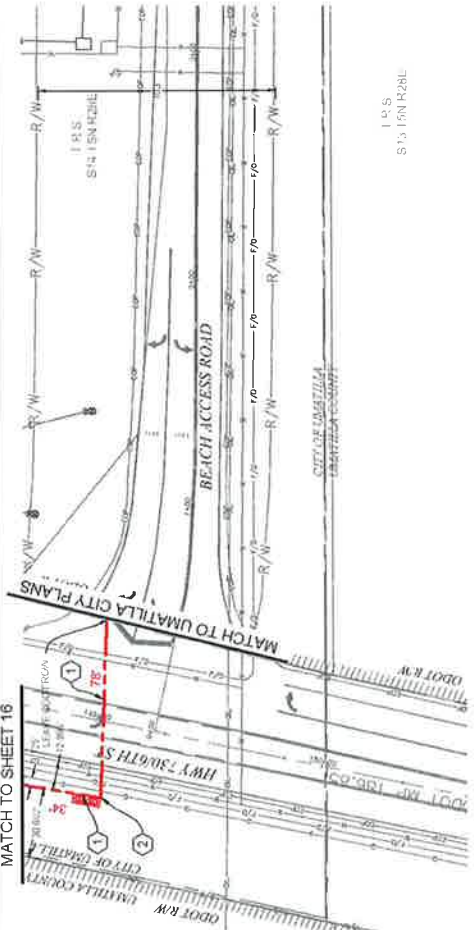
NO.	DATE	ENGINEER	EXAMINER	IN	NO.	AS-BUILT
1						
2						
3						

zayo
MGS

ZAYO ENGINEERING - 6001 BRIDGEMAN
 10000 W. 10TH AVE. SUITE 1000
 FORT COLLINS, CO 80504
 PROJECT NUMBER: 2023-001
 PROJECT NAME: HWY 7306TH ST
 CITY OF UMATILLA
 COUNTY OF WASHINGTON
 SHEET 18 OF 25

811
 Know what's below
 Call before you dig
 1-800-485-5747
 SCALE: 1" = 40'

MATCH TO SHEET 16



PLAN VIEW N

CONSTRUCTION NOTES

1 PROPOSED BORE NEW (3) 2" AND (1) 1.25" HOPE SDR 11 INTERACT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POthOLE UTILITIES PRIOR TO CONSTRUCTION.

2 PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 WALL. IN PLACE UNDER EXISTING 48" BULK SERIES 7 WALL. PLACE FIBER THROUGH. SEE WALK DIAGRAM #2 ON SHEET 1B. SEE WALK DETAILS ON SHEET 1B.

CONTRACTOR NOTES

ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VALET.

1	AS-BUILT				
2	DATE	US	REV	REGION # 11	
3	DATE	DESIGNED	DRAWN	ISSUED	COMMENTS

zayo **MGC**

ZAYO ENTERPRISE 2041 BERRY AVE
 SUITE 2000
 FOLSOM, CA 95630
 LOCATION: 8025 AMUNDSEN LANE
 SUITE 100
 UMATILLA, OREGON 97146
 CONTACT: MIKE JAY @ ZAYO.COM
 SHEET 11 OF 20

811

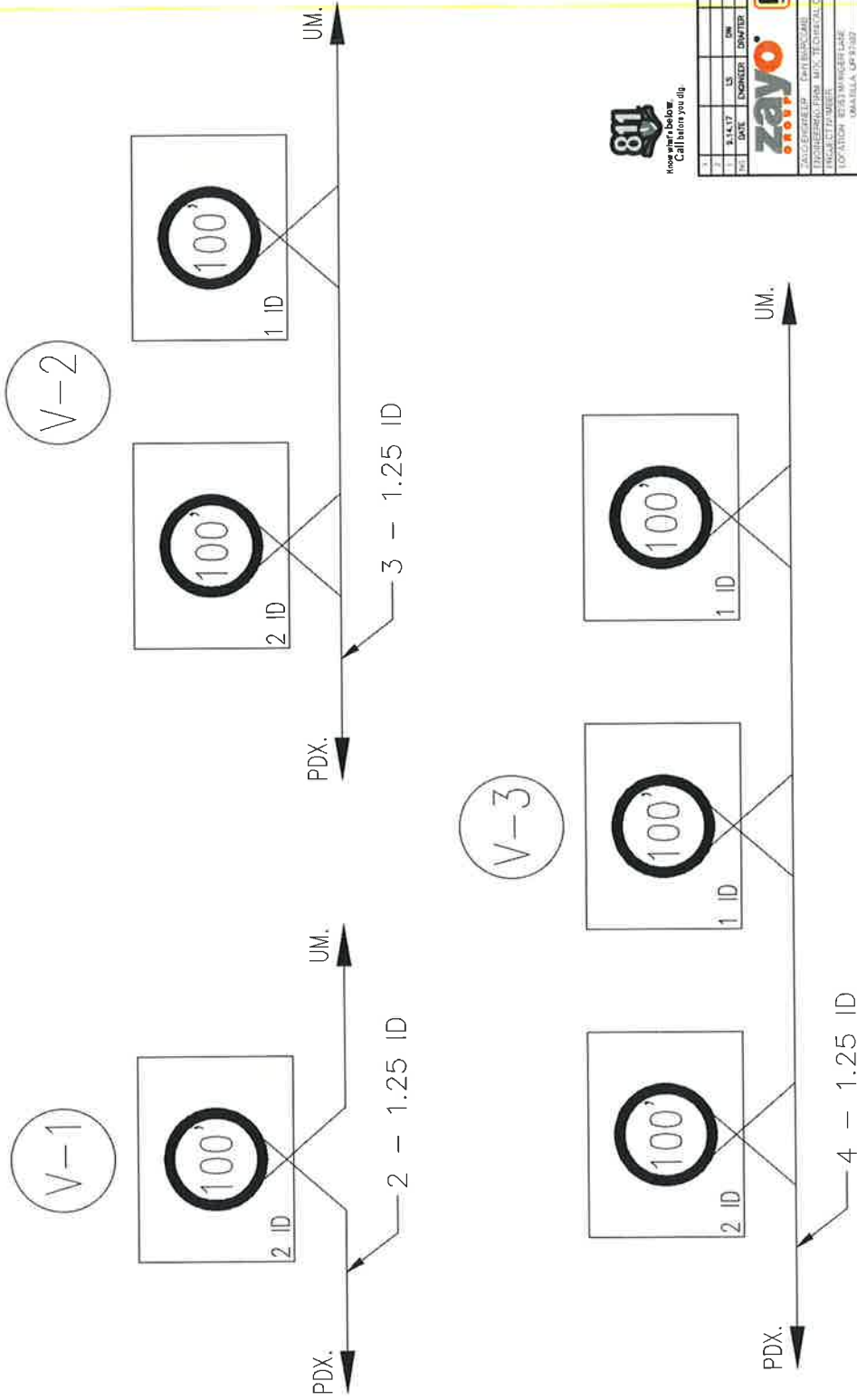
Know what's below
 Call before you dig

SCALE: 1"=50'

Vault Diagram

NOTES:

- 1) PLACE 100' STORAGE IN EACH VAULT
- 2) STUB INNERDUCT (3) INCHES INTO VAULT



NO.	DATE	BY	REVISION	DESCRIPTION
1	11/17/17	LS	ISS	ISSUED FOR PERMIT
2	11/17/17	LS	REV	REVISED FOR PERMIT
3	11/17/17	LS	REV	REVISED FOR PERMIT
4	11/17/17	LS	REV	REVISED FOR PERMIT
5	11/17/17	LS	REV	REVISED FOR PERMIT
6	11/17/17	LS	REV	REVISED FOR PERMIT
7	11/17/17	LS	REV	REVISED FOR PERMIT
8	11/17/17	LS	REV	REVISED FOR PERMIT
9	11/17/17	LS	REV	REVISED FOR PERMIT
10	11/17/17	LS	REV	REVISED FOR PERMIT
11	11/17/17	LS	REV	REVISED FOR PERMIT
12	11/17/17	LS	REV	REVISED FOR PERMIT
13	11/17/17	LS	REV	REVISED FOR PERMIT
14	11/17/17	LS	REV	REVISED FOR PERMIT
15	11/17/17	LS	REV	REVISED FOR PERMIT
16	11/17/17	LS	REV	REVISED FOR PERMIT
17	11/17/17	LS	REV	REVISED FOR PERMIT
18	11/17/17	LS	REV	REVISED FOR PERMIT
19	11/17/17	LS	REV	REVISED FOR PERMIT
20	11/17/17	LS	REV	REVISED FOR PERMIT
21	11/17/17	LS	REV	REVISED FOR PERMIT
22	11/17/17	LS	REV	REVISED FOR PERMIT
23	11/17/17	LS	REV	REVISED FOR PERMIT
24	11/17/17	LS	REV	REVISED FOR PERMIT
25	11/17/17	LS	REV	REVISED FOR PERMIT
26	11/17/17	LS	REV	REVISED FOR PERMIT
27	11/17/17	LS	REV	REVISED FOR PERMIT
28	11/17/17	LS	REV	REVISED FOR PERMIT
29	11/17/17	LS	REV	REVISED FOR PERMIT
30	11/17/17	LS	REV	REVISED FOR PERMIT
31	11/17/17	LS	REV	REVISED FOR PERMIT
32	11/17/17	LS	REV	REVISED FOR PERMIT
33	11/17/17	LS	REV	REVISED FOR PERMIT
34	11/17/17	LS	REV	REVISED FOR PERMIT
35	11/17/17	LS	REV	REVISED FOR PERMIT
36	11/17/17	LS	REV	REVISED FOR PERMIT
37	11/17/17	LS	REV	REVISED FOR PERMIT
38	11/17/17	LS	REV	REVISED FOR PERMIT
39	11/17/17	LS	REV	REVISED FOR PERMIT
40	11/17/17	LS	REV	REVISED FOR PERMIT
41	11/17/17	LS	REV	REVISED FOR PERMIT
42	11/17/17	LS	REV	REVISED FOR PERMIT
43	11/17/17	LS	REV	REVISED FOR PERMIT
44	11/17/17	LS	REV	REVISED FOR PERMIT
45	11/17/17	LS	REV	REVISED FOR PERMIT
46	11/17/17	LS	REV	REVISED FOR PERMIT
47	11/17/17	LS	REV	REVISED FOR PERMIT
48	11/17/17	LS	REV	REVISED FOR PERMIT
49	11/17/17	LS	REV	REVISED FOR PERMIT
50	11/17/17	LS	REV	REVISED FOR PERMIT
51	11/17/17	LS	REV	REVISED FOR PERMIT
52	11/17/17	LS	REV	REVISED FOR PERMIT
53	11/17/17	LS	REV	REVISED FOR PERMIT
54	11/17/17	LS	REV	REVISED FOR PERMIT
55	11/17/17	LS	REV	REVISED FOR PERMIT
56	11/17/17	LS	REV	REVISED FOR PERMIT
57	11/17/17	LS	REV	REVISED FOR PERMIT
58	11/17/17	LS	REV	REVISED FOR PERMIT
59	11/17/17	LS	REV	REVISED FOR PERMIT
60	11/17/17	LS	REV	REVISED FOR PERMIT
61	11/17/17	LS	REV	REVISED FOR PERMIT
62	11/17/17	LS	REV	REVISED FOR PERMIT
63	11/17/17	LS	REV	REVISED FOR PERMIT
64	11/17/17	LS	REV	REVISED FOR PERMIT
65	11/17/17	LS	REV	REVISED FOR PERMIT
66	11/17/17	LS	REV	REVISED FOR PERMIT
67	11/17/17	LS	REV	REVISED FOR PERMIT
68	11/17/17	LS	REV	REVISED FOR PERMIT
69	11/17/17	LS	REV	REVISED FOR PERMIT
70	11/17/17	LS	REV	REVISED FOR PERMIT
71	11/17/17	LS	REV	REVISED FOR PERMIT
72	11/17/17	LS	REV	REVISED FOR PERMIT
73	11/17/17	LS	REV	REVISED FOR PERMIT
74	11/17/17	LS	REV	REVISED FOR PERMIT
75	11/17/17	LS	REV	REVISED FOR PERMIT
76	11/17/17	LS	REV	REVISED FOR PERMIT
77	11/17/17	LS	REV	REVISED FOR PERMIT
78	11/17/17	LS	REV	REVISED FOR PERMIT
79	11/17/17	LS	REV	REVISED FOR PERMIT
80	11/17/17	LS	REV	REVISED FOR PERMIT
81	11/17/17	LS	REV	REVISED FOR PERMIT
82	11/17/17	LS	REV	REVISED FOR PERMIT
83	11/17/17	LS	REV	REVISED FOR PERMIT
84	11/17/17	LS	REV	REVISED FOR PERMIT
85	11/17/17	LS	REV	REVISED FOR PERMIT
86	11/17/17	LS	REV	REVISED FOR PERMIT
87	11/17/17	LS	REV	REVISED FOR PERMIT
88	11/17/17	LS	REV	REVISED FOR PERMIT
89	11/17/17	LS	REV	REVISED FOR PERMIT
90	11/17/17	LS	REV	REVISED FOR PERMIT
91	11/17/17	LS	REV	REVISED FOR PERMIT
92	11/17/17	LS	REV	REVISED FOR PERMIT
93	11/17/17	LS	REV	REVISED FOR PERMIT
94	11/17/17	LS	REV	REVISED FOR PERMIT
95	11/17/17	LS	REV	REVISED FOR PERMIT
96	11/17/17	LS	REV	REVISED FOR PERMIT
97	11/17/17	LS	REV	REVISED FOR PERMIT
98	11/17/17	LS	REV	REVISED FOR PERMIT
99	11/17/17	LS	REV	REVISED FOR PERMIT
100	11/17/17	LS	REV	REVISED FOR PERMIT

811
Any Dig Before You Dig

zayo
MGS

PROJECT: [REDACTED]
DRAWING NO.: [REDACTED]
DATE: [REDACTED]
SCALE: [REDACTED]

VAULT DETAILS

BODY SPECIFICATIONS

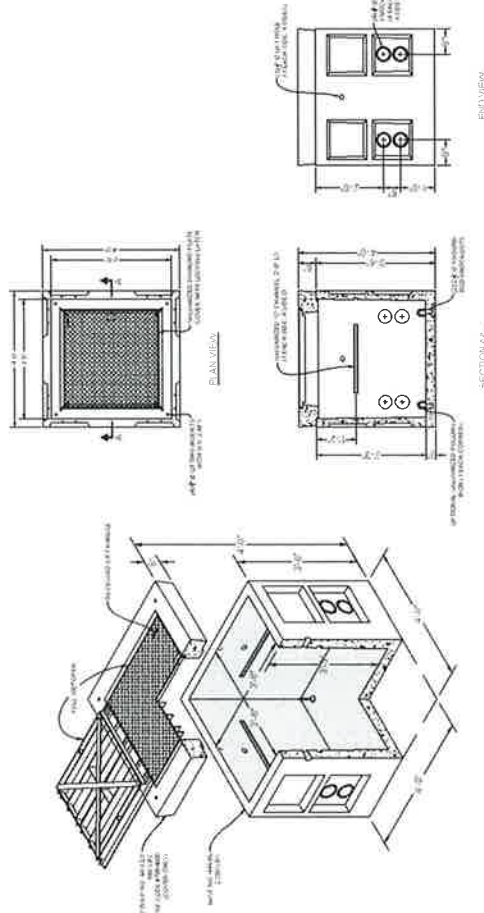
Cover Weight	50 lbs [23 kg]
Pk Weight	82 lbs [37 kg]
Assembled Weight	132 lbs [60 kg]

Shield
Composite Center
BULK
BULK 4 Vault Body
By 394 mm Depth
Steel

ADDITIONAL BODY DEPTHS

TYPICAL BULK - SERIES 4 VAULT DETAIL

SCALE: 1/8\"/>



BODY SPECIFICATIONS

Cover Weight	50 lbs [23 kg]
Pk Weight	129 lbs [59 kg]
Assembled Weight	229 lbs [105 kg]

Shield
Composite Center
BULK
BULK 7 Vault Body
By 394 mm Depth
Steel

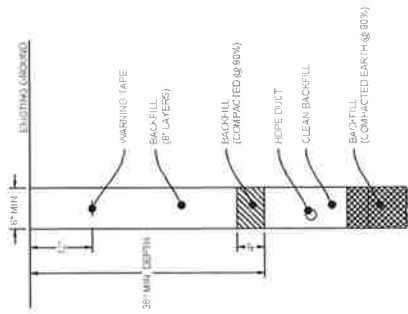
TYPICAL BULK - SERIES 7 VAULT DETAIL

SCALE: 1/8\"/>

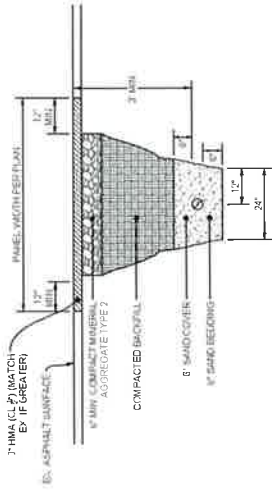


1	AS-BUILT								
2	DATE	ENGINEER	DRAWER	CONTRACT					
ZAYO ENGINEERS - 6411 BROADWAY - SUITE 100 - BOSTON, MA 02118									
MGC ENGINEERS - 102 TECHNICAL CENTER DRIVE, 1F - BOSTON, MA 02118									
LOCATION: BOSTON, MASSACHUSETTS									
DRAWN BY: J. W. WILSON									
CHECKED BY: J. W. WILSON									
DATE: 03/13/18									

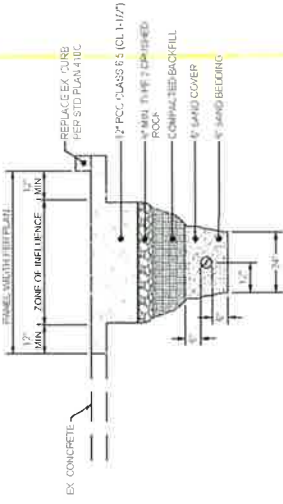
UNDERGROUND TYPICALS



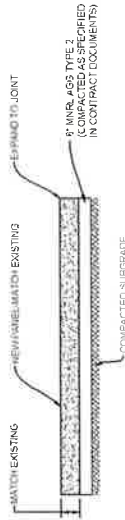
TYPICAL TRENCH IN SOIL DETAIL
SCALE: NTS



TYPICAL PATCH TRENCH DETAIL
SCALE: NTS



TYPICAL CONCRETE TRENCH DETAIL
SCALE: NTS



TYPICAL CONCRETE PANEL CROSS SECTION DETAIL
SCALE: NTS



REV	DATE	BY	CHKD	DRWN	APP'D	DESCRIPTION
1	9.14.17	LS	DM			AS-BUILT REGION # 1
2						ORIGINAL COMMENT

AUTO ENGINEER: SAUL BANCROFT PROJECT NUMBER: 1703010001 PROJECT LOCATION: MARLBOROUGH, MASSACHUSETTS PROJECT DATE: 09/14/2017 PROJECT TIME: 12:00 PM - 12:00 PM PROJECT TYPE: CONSTRUCTION			
CONFIDENTIAL - NOT FOR REPRODUCTION WITHOUT WRITTEN PERMISSION			

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - ODOT - SEG C2 - 730 TO UMATILLA - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	11,339 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	11,339 FT.

SCALE: NTS

CONTACTS

ZAYO CONTACT:
 DAN BARCOMB
 22851 83RD AVE S
 KENT, WA 98032
 206.835.1200
 DANBARCOMB@ZAYO.COM

BRYSON BAILY
 MGC TECHNICAL CONSULTING, INC.
 6244 185TH AVE NE
 REDMOND, WA 98052
 C.206.759.3001
 BRYSON@MGCTECHNICAL.COM

SHEET INDEX

1. COVER SHEET / SITE LOCATION
2. GENERAL NOTES
3. GENERAL NOTES
- 4-13. PLAN VIEWS A - J
14. VERTICAL CURVE DETAIL
15. JOINT SYSTEM DETAIL
16. UNDERGROUND TYPICALS
17. UNDERGROUND TYPICALS

SCOPE OF WORK:
 BORE AND PLACE PROPOSED CONDUIT AND
 VAULTS ALONG HWY 730 FROM LAND RD TO
 HWY 730. PULL FIBER CABLE
 THROUGHOUT.

NO.	DATE	BY	CHK	DESCRIPTION
1	3/1/15	IB	CH	ORIGINAL
2				COMMIT

ZAYO ENGINEER: DAN BARCOMB
 ENGINEERING FIRM: MGC TECHNICAL CONSULTING, INC.
 PROJECT NUMBER:
 LOCATION: 82353 MUNGER LANE
 UMATILLA, OR 97882
 DRAWING NUMBER: BOARDMAN TO UMATILLA - ODOT - SEG C2 - 730 TO UMATILLA - BULK CONDUIT
 SHEET 1 OF 18

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEAM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EOP	EDGE OF PAVEMENT
EOTW	EDGE OF TRAVEL WAY
F/C	FACE OF CURB
F/O	FIBER OPTIC
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RGS	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA	STATION
STM	STEAM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING
	RISER - PROPOSED
	CATCH BASIN/INLET (RECTANGULAR)
	CATCH BASIN/INLET (ROUND)
	FIRE HYDRANT
	WATER/GAS VALVE
	LIGHT POST
	STREET LIGHT
	TRAFFIC LIGHT ARM
	TREE
	CULVERT
	WING WALL
	BRIDGE
	STREET SIGN
	ADA RAMP
	UTILITY POLE - EXISTING
	UTILITY POLE - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	HANDHOLE - PROPOSED (SIZE MAY VARY)
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	PEDESTAL - PROPOSED (SIZE MAY VARY)
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	BORE PIT - PROPOSED (SIZE MAY VARY)
	UTILITY POTSOLE

INFORMATION TABLES

HATCH PATTERNS

	CONCRETE SIDEWALK
	GRASS/VEGETATION
	GRAVEL
	WATER

AG-BUILT REVISION # 1
 3/7/18 BB CH
 NO. DATE ENGINEER DWG/ITER COMMENT
zayo
 MGS
 CONSULTING ENGINEERS
 2501 UNIVERSITY DRIVE, SUITE 200
 FORT WORTH, TEXAS 76102
 PROJECT NUMBER: 1323341000130001
 LOCATION: 1323341000130001
 DRAWING TITLE: ZAYO NETWORK TOWER/1323341000130001
 DRAWING NUMBER: 1323341000130001
 SHEET # 3 OF 18

GENERAL NOTES

GENERAL NOTES:

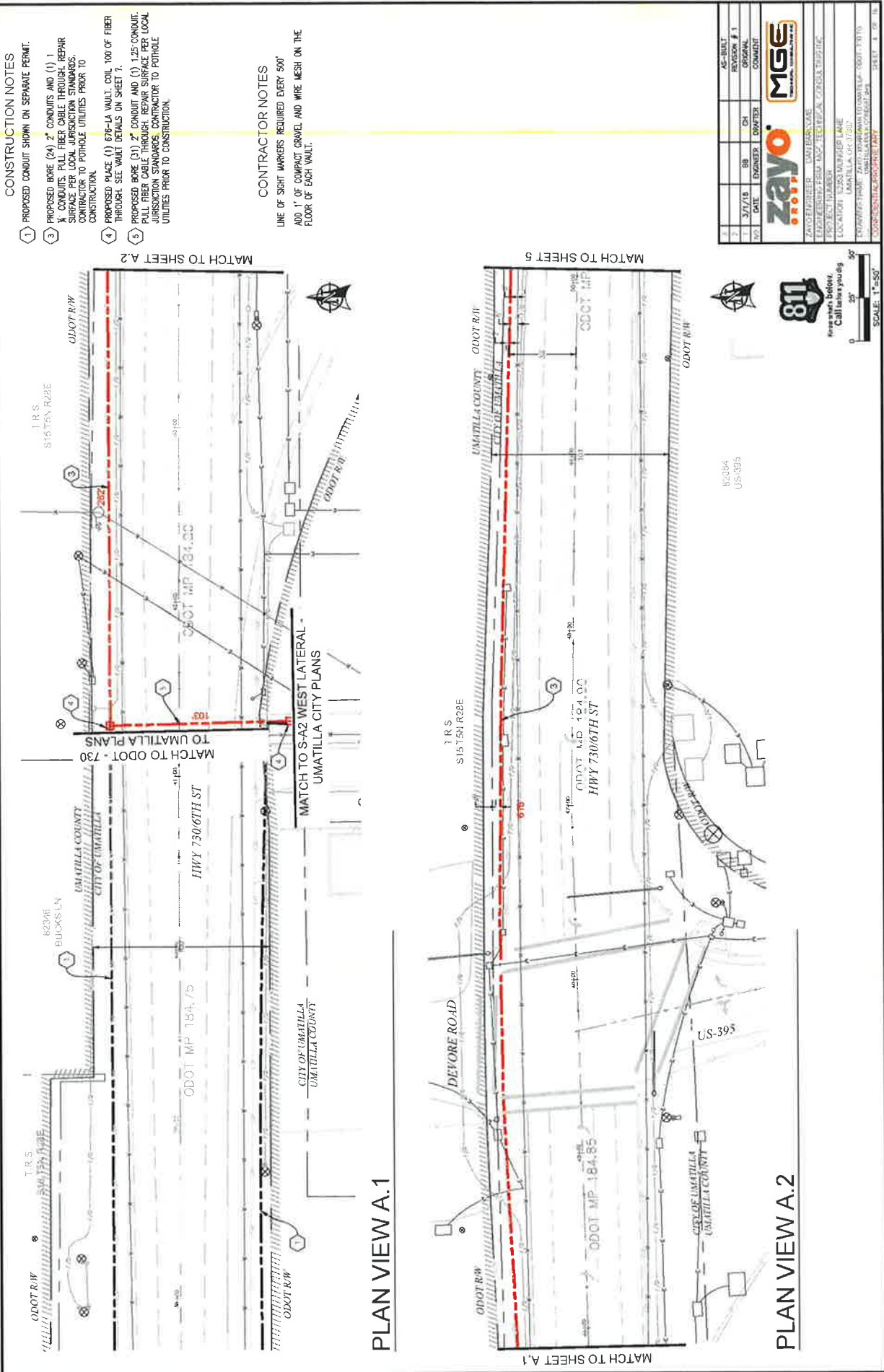
The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE ODOT REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE ODOT INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE ODOT INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE ODOT AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION, AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE ODOT, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL. PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS. PRIOR TO INSTALLATION A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH ODOT.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE ODOT INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE ODOT ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE ODOT.



See what's below.
Call before you dig.

1	DATE	BY	CHK	AS-BUILT
2	3/1/18	EB	CH	REVISION # 1
3	DATE	ENGINEER	DESIGNER	COMMENTS
ZAYO CONSULTING, INC. 1000 W. 10TH AVENUE, SUITE 200, DENVER, CO 80202				
2018 SEPTEMBER EAST HARBOR 1272260001 PHASE 1 - ELECTRICAL CONSTRUCTION PLAN PROJECT NUMBER LOCATION 6230 AMARZELLE LANE UNATELLA, CO 81602 DRAWING DATE: 2018-09-05 10:59:00 AM (001-7871) COMPANY: MGC TECHNICAL CONSULTING, INC. SHEET 1 OF 16				



AS-BUILT	REVISION # 1
DATE	ENGINEER
3/7/18	BB
DATE	ENGINEER
3/7/18	CH
DATE	ENGINEER
3/7/18	CH
DATE	ENGINEER
3/7/18	CH

zayo
MGE
 CONSULTING ENGINEERS

PROJECT NUMBER: 15253 MURKIN LINE
 LOCATION: UMATILLA, OR 97132
 DRAWING NUMBER: UMATILLA-CONDUIT-FIBER
 SHEET 1 OF 15

82084
U.S. 395

80
 1" = 50'
 0' 20' 40' 60' 80'

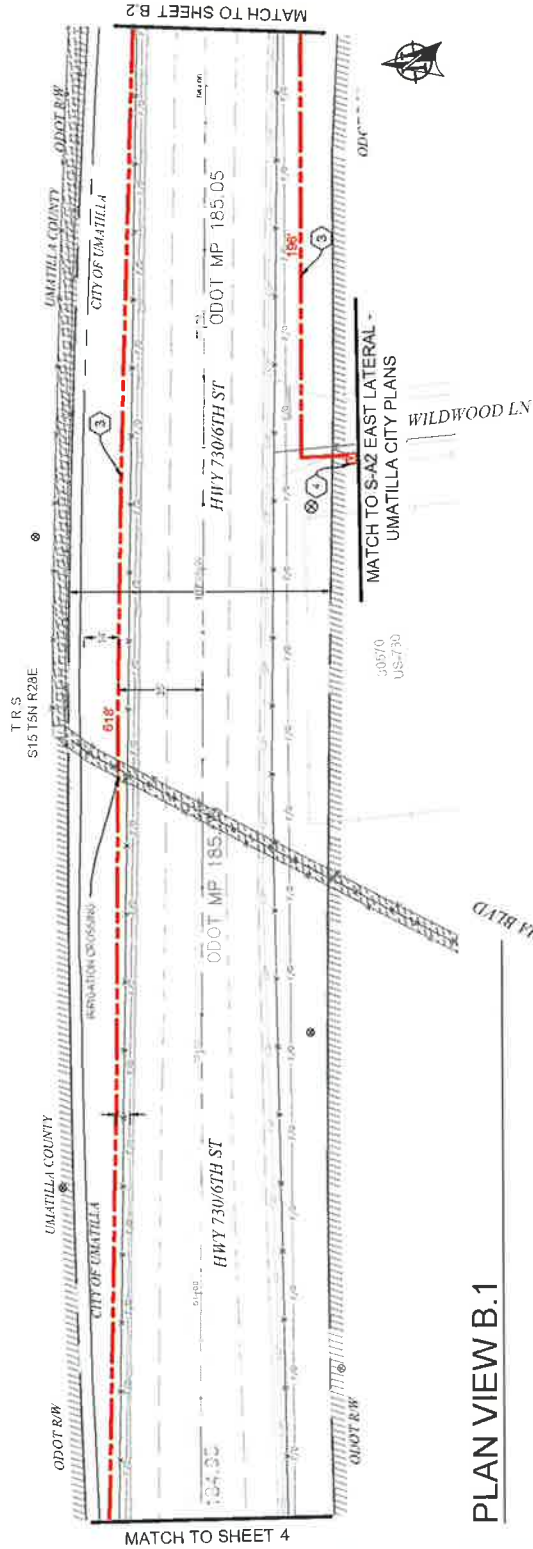
Investigate Below,
Call before you dig.

CONSTRUCTION NOTES

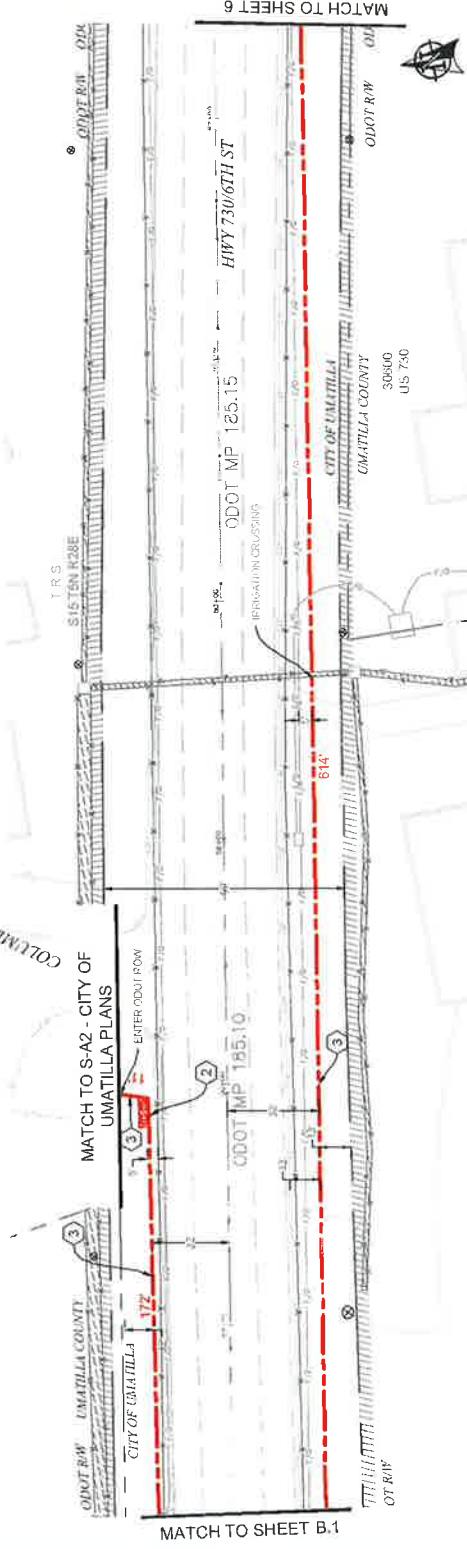
- ② PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT.
- ③ PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
- ④ COIL 100 OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 14.
- ⑤ PROPOSED BORE (24) 2" CONDUITS AND (1) 1" X CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONDUITS TO FORME UTILITIES PRIOR TO CONSTRUCTION.
- ⑥ PROPOSED PLACE (1) 678-LA VAULT. COIL 100 OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 1.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW B.1



PLAN VIEW B.2

NO.	DATE	ENGINEER	DR	ON	BY	COMMENT
1	3/17/18	BR	ON	ORIGINAL		



See also below:
Call before you dig

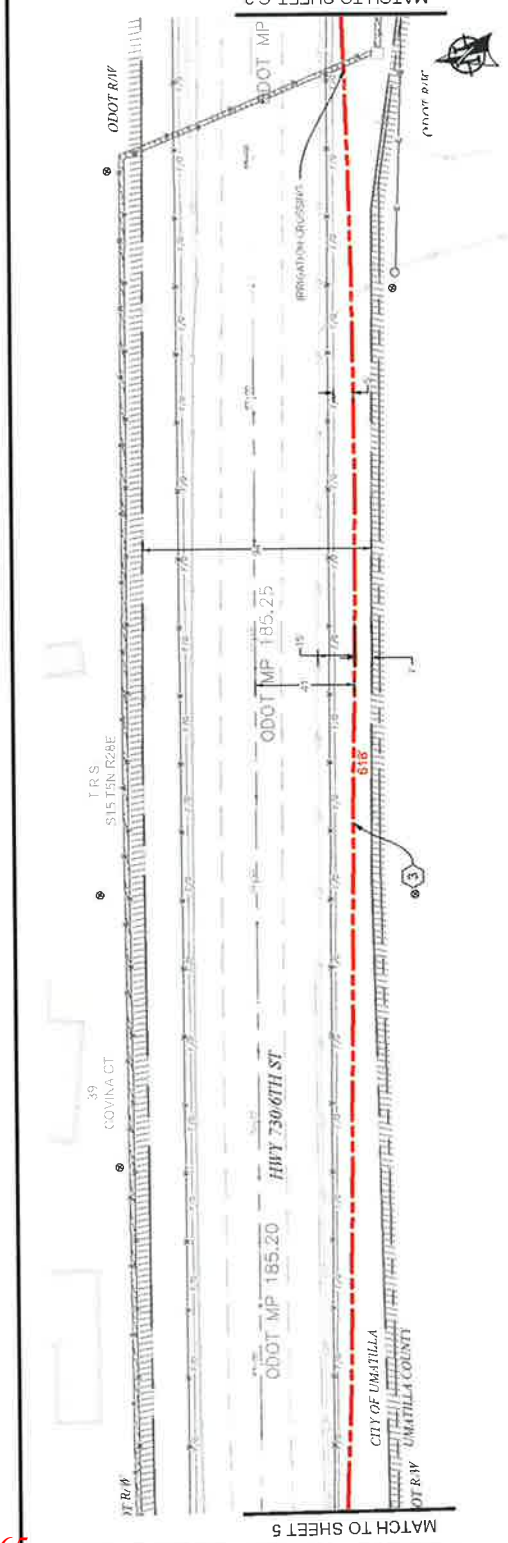
SCALE: 1"=50'

CONSTRUCTION NOTES

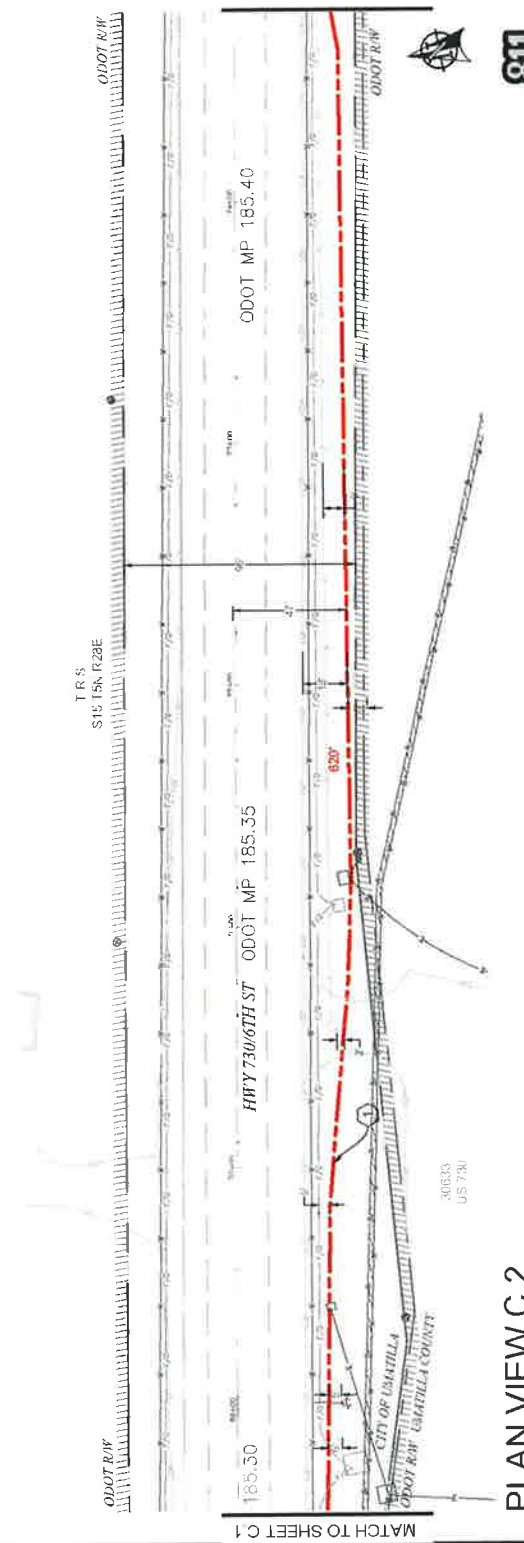
3. PROPOSED BORE (24" 2' CONDUITS AND (1) 1" N' CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTPOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW C.1



PLAN VIEW C.2

AS-BUILT	REVISION # 1	DATE	DESIGNER	CONTRACT	COMMENTS
3/7/18	BB	CH			
PROJECT NUMBER: 24233MURPREF LANE LOCATION: UMATILLA, OR 97583 DRAWING NUMBER: 24233MURPREF LANE-ROADWAY PLAN SHEET 1 OF 1					

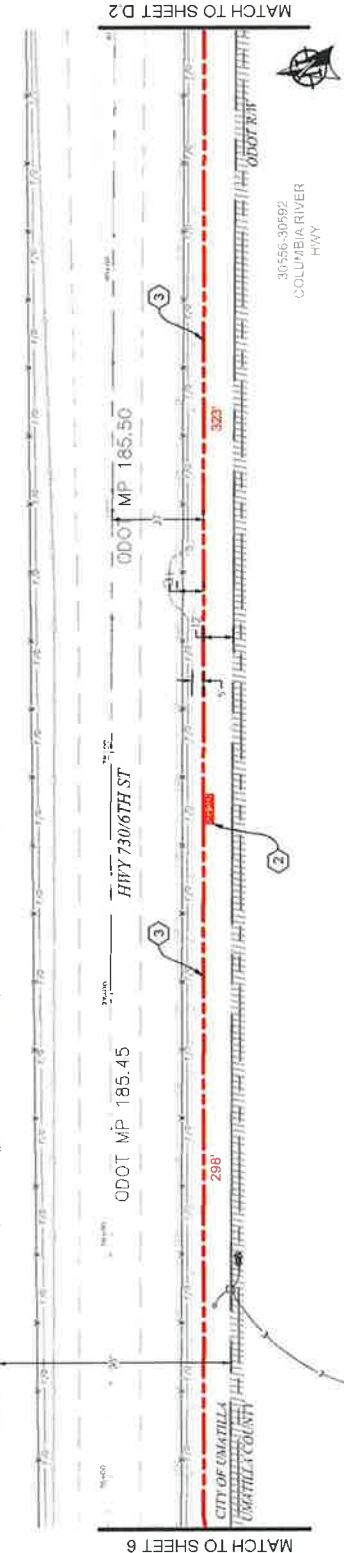
CONSTRUCTION NOTES

2 PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT
 PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
 COIL 100' OF FIBER THROUGH. SEE VAULT DETAILS ON
 SHEET 14.

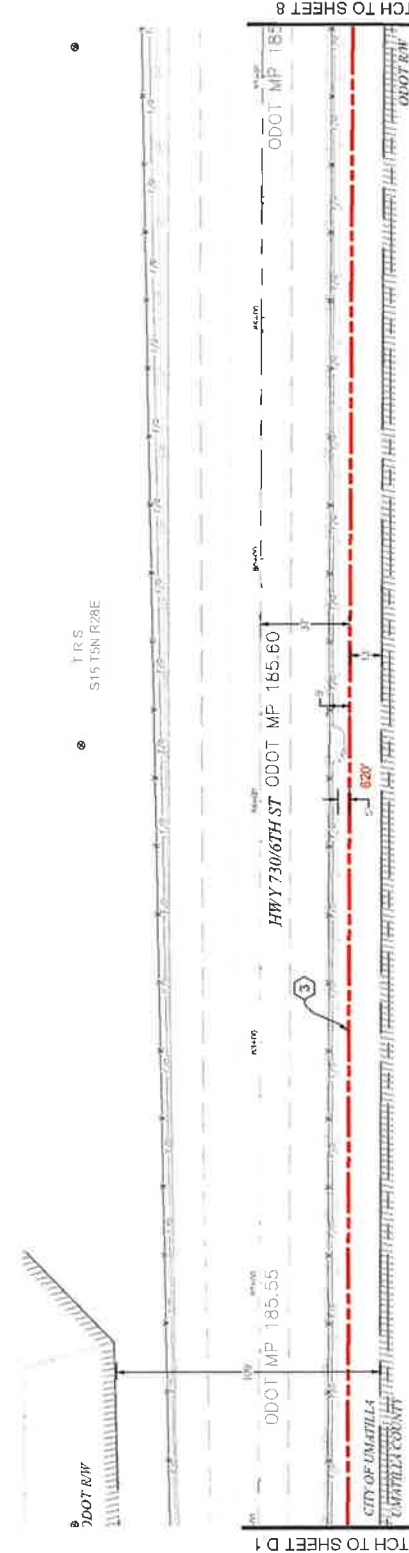
3 PROPOSED BORE (A) 2" CONDUITS AND (1) 1"
 X CONDUITS. PULL FIBER CABLE THROUGH
 CONDUITS. CONTRACTOR TO POTABLE UTILITIES PRIOR TO
 CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
 ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE
 FLOOR OF EACH VAULT.



PLAN VIEW D.1



PLAN VIEW D.2

1	AS-BUILT				
2	REVISION # 1				
3	DATE	3/7/18	BY	ON	ORIGINAL
4	ENGINEER		DRAWER		COMMIT

zayo
 zayo.com

MSE
 MASONRY SPECIALTIES

ZAYO ENGINEERING, INC.
 1000 S. WASHINGTON, SUITE 100
 TULSA, OKLAHOMA 74106
 LOCATION: UMATILLA, OKLAHOMA
 UMATILLA, OKLAHOMA
 UMATILLA, OKLAHOMA
 UMATILLA, OKLAHOMA
 UMATILLA, OKLAHOMA

811
 Know what's below.
 Call before you dig.
 1-800-4-A-DIG

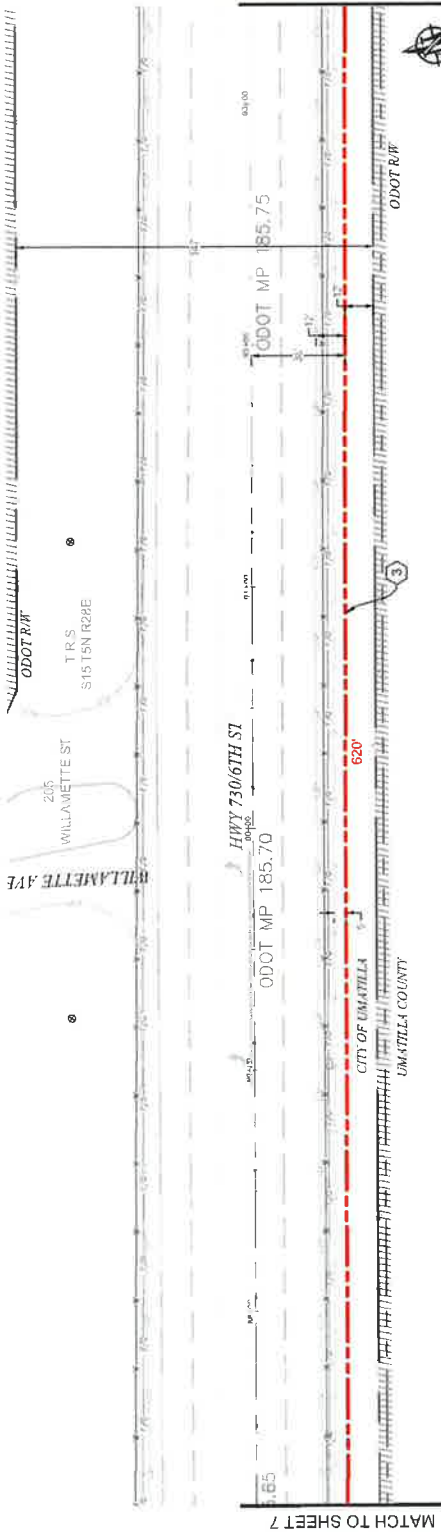
SCALE: 1"=50'

CONSTRUCTION NOTES

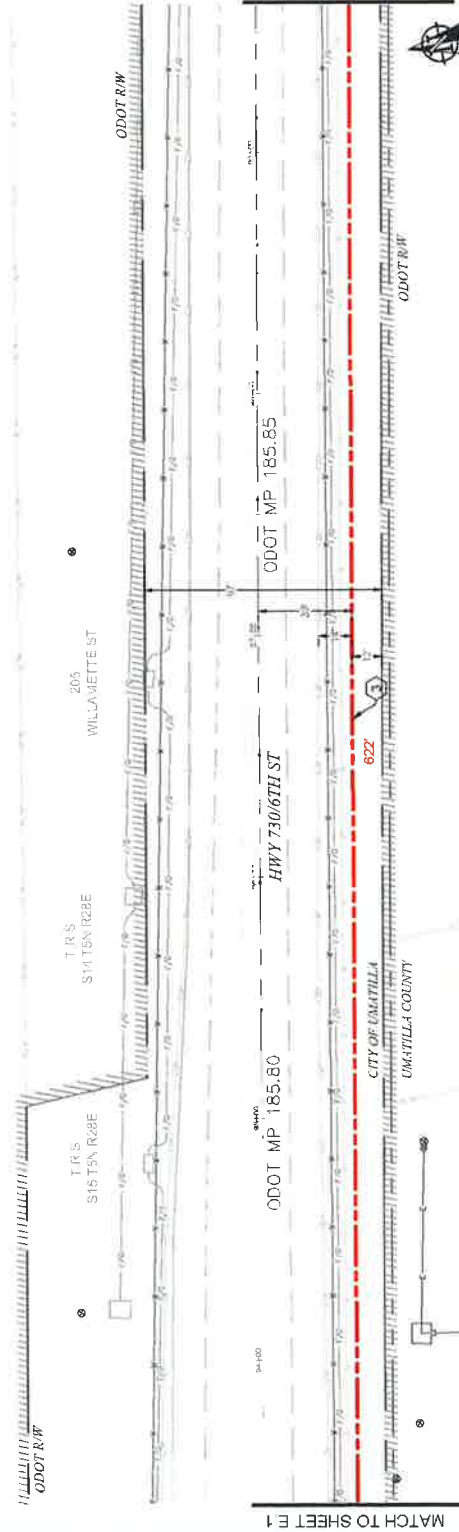
3) PROPOSED BORE (2) 2" CONDUITS AND (1) 1" CONDUIT FOR ALL FIBER OPTIC AND REPAIR SUBURBERS LOCATIONS AND SEWERS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SPOT MARKERS REQUIRED EVERY 500'



PLAN VIEW E.1



PLAN VIEW E.2

811
 Non-emergency
 Call before you dig
 1-800-4-A-DIG

SCALE: 1" = 50'

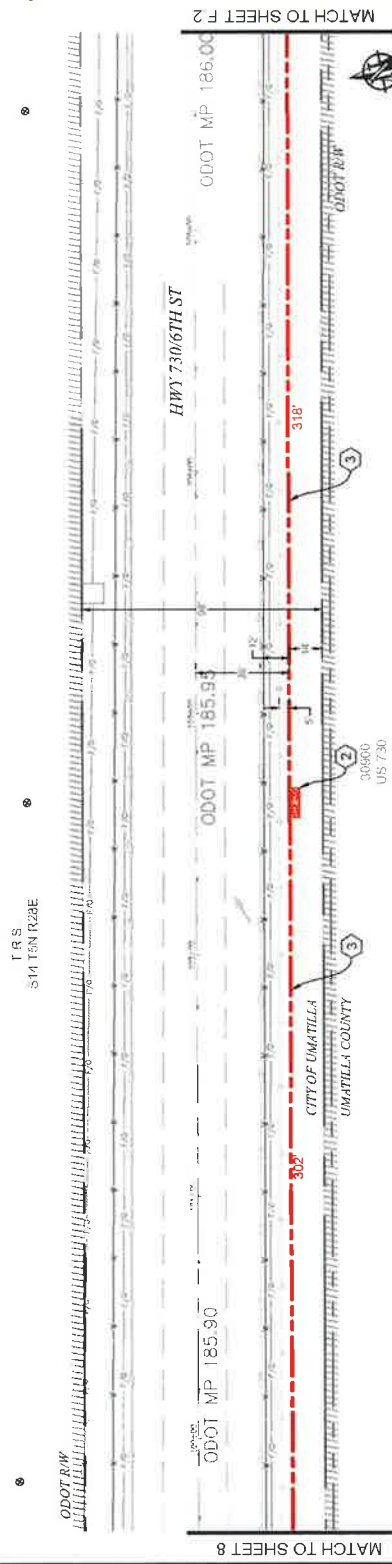
1	DATE	ENGINEER	CH	QUANTITY	COMMIT	AS-BUILT
2	3/7/18	68	CH	QUANTITY	COMMIT	ORIGINAL
ZAYO DESIGN GROUP, INC. 10000 W. WASHINGTON AVE. SUITE 1000 DENVER, CO 80202 MGS CONSULTING ENGINEERS, INC. 10000 W. WASHINGTON AVE. SUITE 1000 DENVER, CO 80202 PROJECT NO. 185.70-185.90 LOCALITY UMATILLA, CO 81683 CONTRACT NO. 185.70-185.90 DRAWING NO. 185.70-185.90-01						
UMATILLA COUNTY UMATILLA COUNTY UMATILLA COUNTY						SHEET 1 OF 1

CONSTRUCTION NOTES

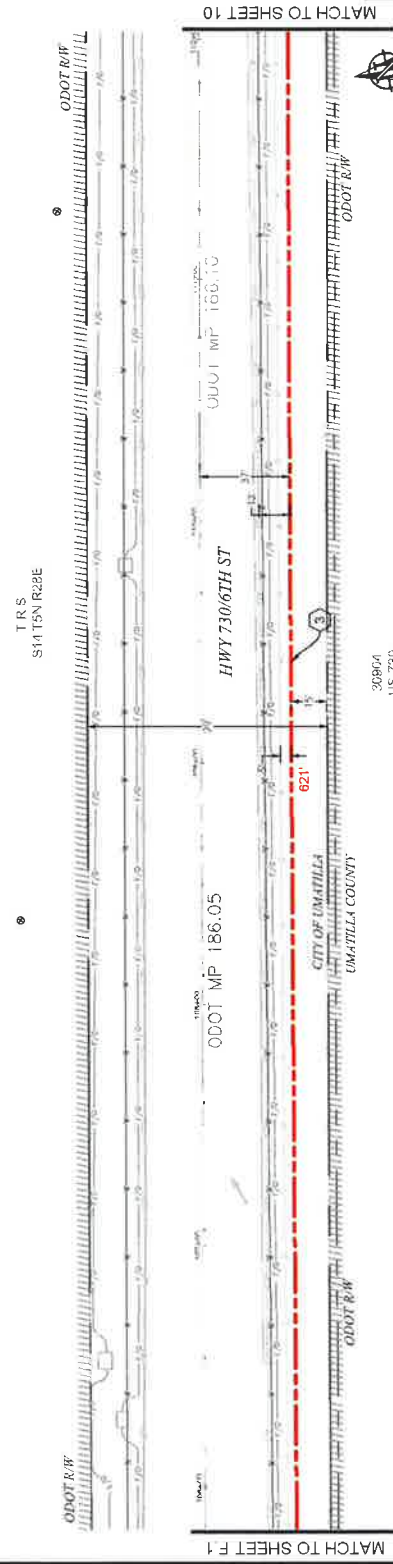
- (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT.
- PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
- COIL 100 OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 14.
- (3) PROPOSED BORE (24) 2" CONDUITS AND (1) 1" K' CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW F.1



PLAN VIEW F.2



Know what's below.
Call before you dig.
SCALE: 1"=50'

NO.	DATE	ENGINEER	DRAWER	CHK	APP'D	REVISION # 1
1	3/7/18	BB	CH			ORIGINAL

zayo
MGS
MAGNETIC SURVEILLANCE GROUP

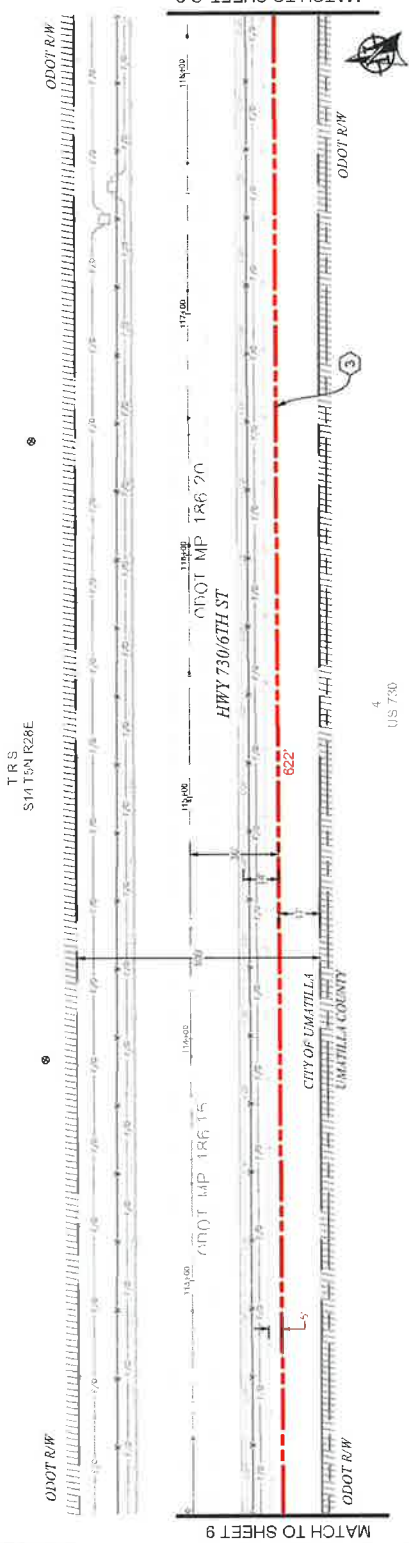
PROJECT NAME: MGS - UMATILLA COUNTY
PROJECT NUMBER: UMATILLA CR 37-82
LOCATION: UMATILLA COUNTY, OREGON
DRAWN BY: JAYDAN LUTHE
CHECKED BY: JAYDAN LUTHE
DATE: 3/7/18
SCALE: 1"=50'

CONSTRUCTION NOTES

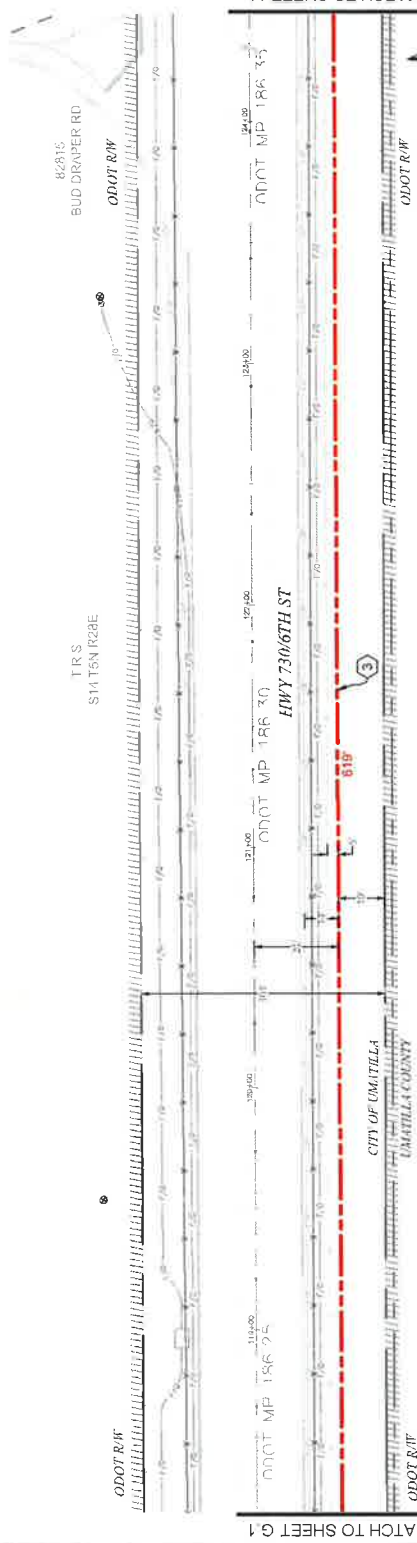
3) PROPOSED BORE (24" CONDUITS AND (1) 1" CONDUIT); PULL FIBER CABLE THROUGH, REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH/REPAIR UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW G.1



PLAN VIEW G.2

NO.	DATE	DESIGNER	DRAWN	COMMENT
1	3/7/18	BB	CH	ISSUANCE
2				

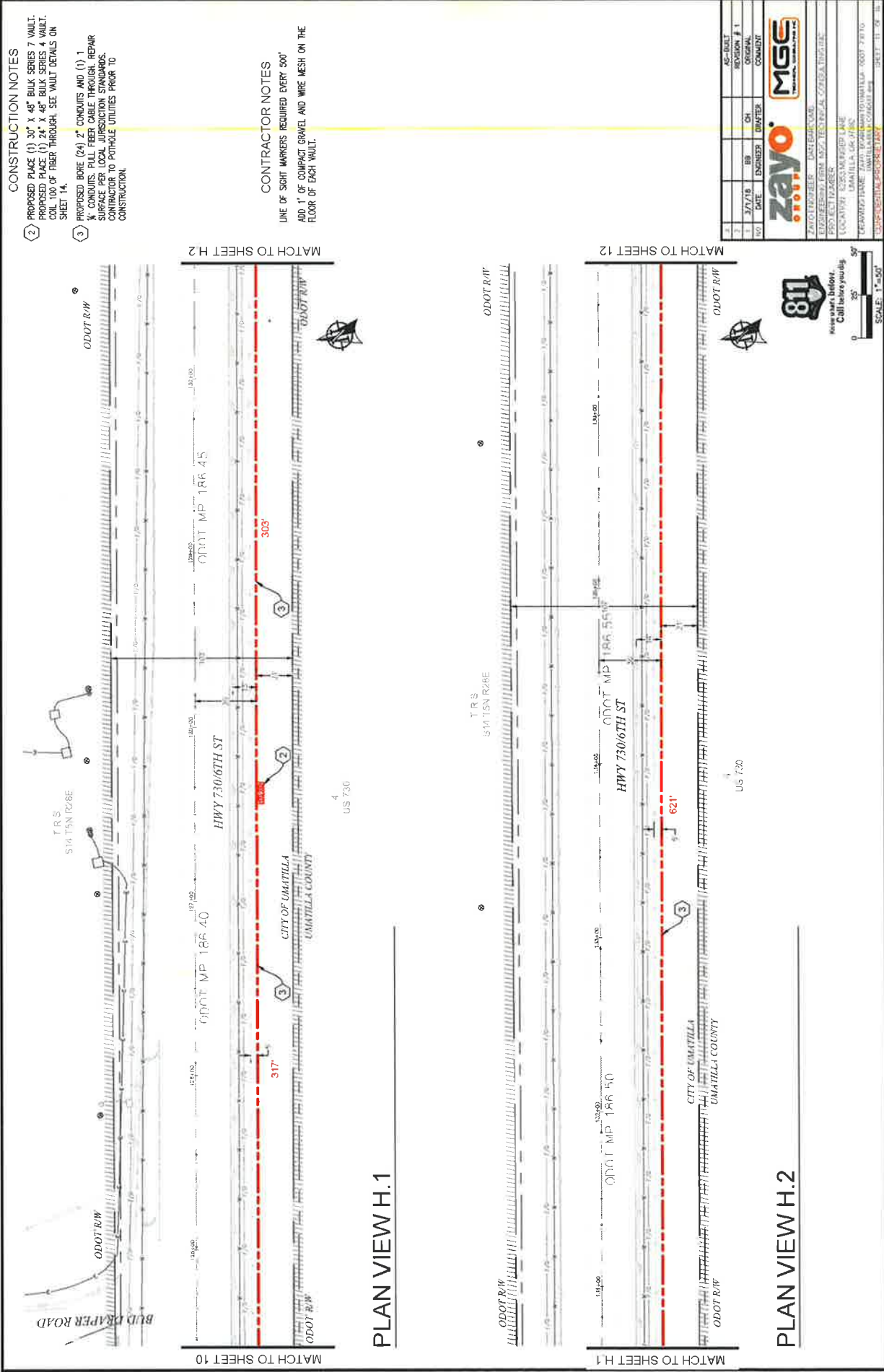
AS-BUILT
REVISION # 1



ZAYO PROJECT: DATE: PROJECT: LOCATION: UMATILLA, OR 97128
 PROJECT NUMBER: 18000000000000000000
 PROJECT NAME: ZAYO UMATILLA PROJECT
 PROJECT NUMBER: 18000000000000000000
 PROJECT NAME: ZAYO UMATILLA PROJECT
 PROJECT NUMBER: 18000000000000000000
 PROJECT NAME: ZAYO UMATILLA PROJECT

Call before you dig
811

SCALE: 1"=50'



CONSTRUCTION NOTES

- (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT. COIL 100' OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 14.
- (3) PROPOSED BORE (24) 2" CONDUITS AND (1) 1" X" CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POTHOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

PLAN VIEW H.1

PLAN VIEW H.2

AS-BUILT	REVISION # 1
DATE	ENGINEER
DATE	QUANTITY
DATE	COMMENT

zayo
 800.424.4642
 10000 N. CENTRAL EXPRESSWAY
 SUITE 200
 UMATILLA, OR 97783

MGS
 MASONRY & GEOTECHNICAL SERVICES, INC.
 PROJECT NUMBER: 20240000000000000000
 LOCATION: 22222222222222222222
 UMATILLA, OR 97783
 OPERATOR: JAYD PEARL/UMATILLA/MP 730/730
 SUBMITTAL: SUBMITTAL
 SHEET: 11 OF 11

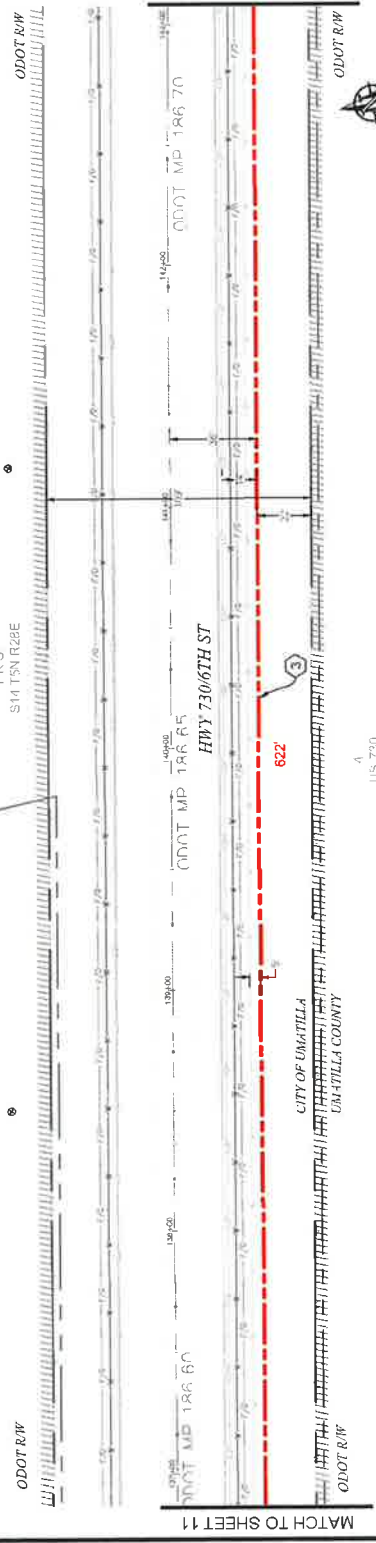
811
 Know what's below.
 Call before you dig.
 SCALE: 1"=50'

CONSTRUCTION NOTES

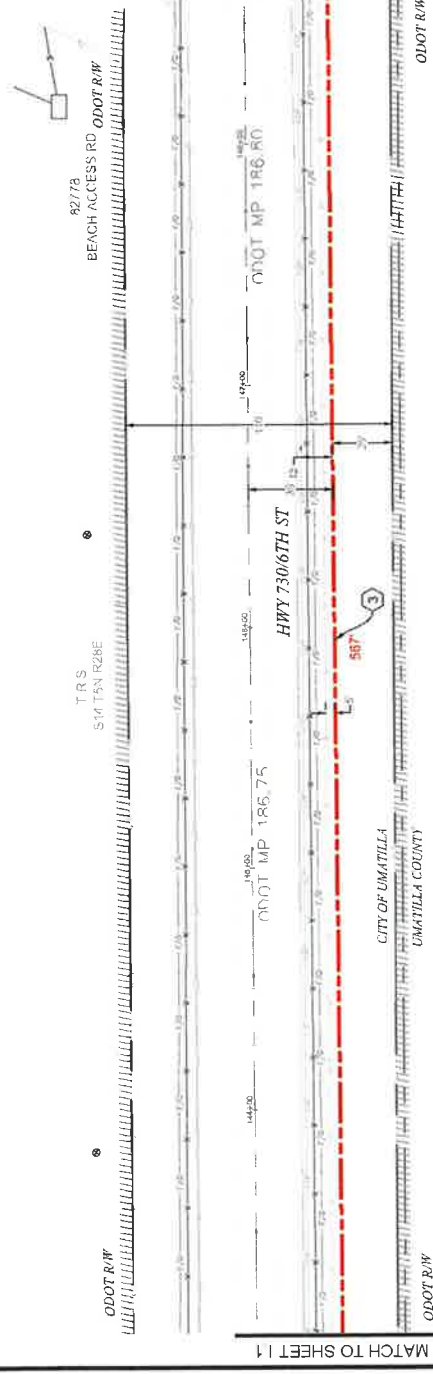
3) PROPOSED BORE (24" CONDUITS AND (1) 1" K) CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO TRIM/PILE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SORT MARKERS REQUIRED EVERY 500'



PLAN VIEW I.1



PLAN VIEW I.2

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 500'

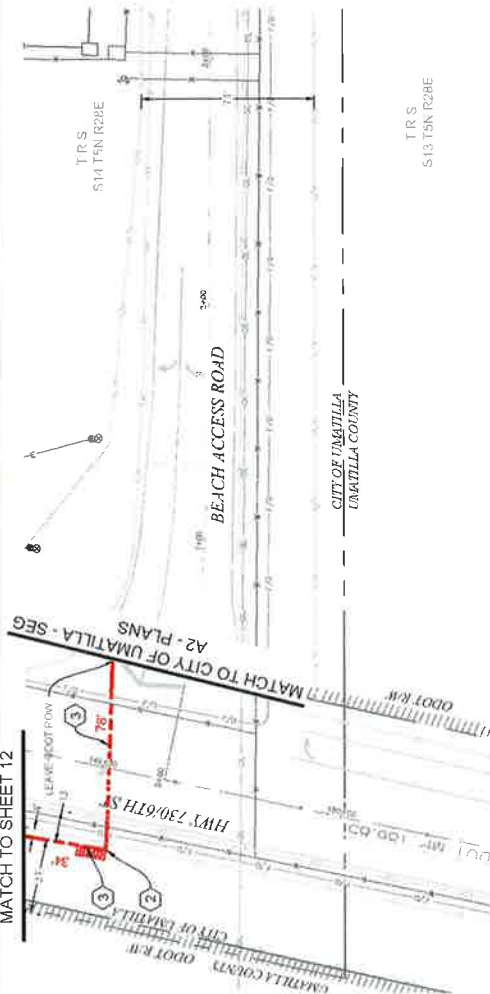
NO.	DATE	BY	CHK	REVISION
1	3/7/18	EDMUNDS	CH	ORIGINAL
2				CONDUIT

zayo
 COMMUNICATIONS

MGS
 MICHIGAN GEOTECHNICAL SERVICES

ZAYO ENGINEER: DAN FORKAS
 LICENSED PROFESSIONAL ENGINEER - CIVIL
 PROJECT NUMBER: 180017010
 LOCATION: ALZONA WAREHOUSE LANE
 UMATILLA, OR 97152
 DRAWN BY: JAMES W. WOODS
 CHECKED BY: JAMES W. WOODS
 SHEET 11 OF 15

MATCH TO SHEET 12



PLAN VIEW J

CONSTRUCTION NOTES

- 2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT.
- PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT.
- COIL 100 OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 14.
- 3) PROPOSED BORE (2) 2" CONDUITS AND (1) 1" CONDUIT.
- PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS.
- CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
 ADD 1' OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



T.R.S.
 S13 T5N R28E

AS-BUILT	REVISION # 1
DATE	3/7/18
ENGINEER	GRANTER
PROJECT NUMBER	12203 WEEGER LAKE
LOCATION	UMATILLA, OR 97142
PROJECT NAME	UMATILLA, OR 97142
DATE	3/7/18
 	
ZAYO PARTNERED WITH MGE TO PROVIDE FIBER SERVICE TO UMATILLA, OR 97142.	
PROJECT NUMBER: 12203 WEEGER LAKE	
LOCATION: UMATILLA, OR 97142	
PROJECT NAME: UMATILLA, OR 97142	
DATE: 3/7/18	
SHEET 13 OF 16	



VAULT DETAILS

BODY SPECIFICATIONS

Cover Weight 50 lbs [23 kg]
 Pit Weight 82 lbs [37 kg]
 Assembled Weight 132 lbs [60 kg]

36" [914]
 40 3/8" [1026]
 28 3/4" [731]

ADDITIONAL BODY DEPTHS
 24" [610]
 35 1/2" [901]

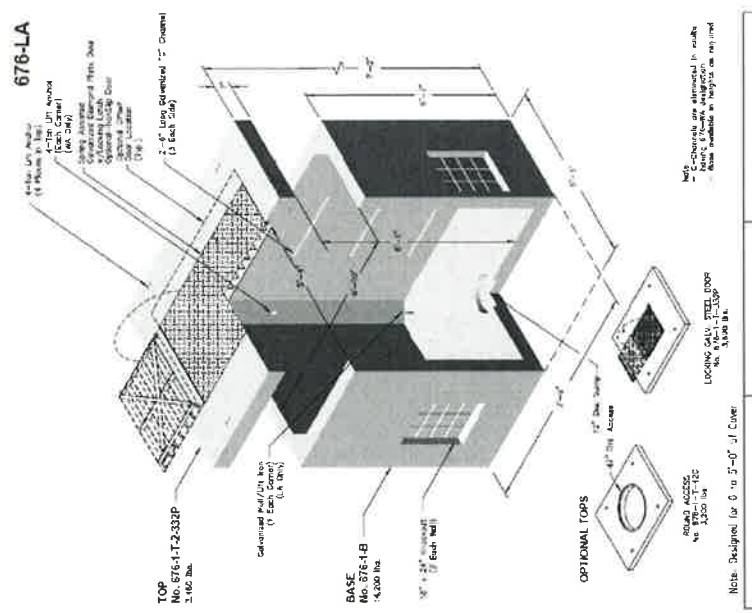
TYPICAL BULK - SERIES 4 VAULT DETAIL
SCALE: NTS

BODY SPECIFICATIONS

Cover Weight 50 lbs [23 kg]
 Pit Weight 129 lbs [59 kg]
 Assembled Weight 229 lbs [105 kg]

36" [914]
 45 1/2" [1158]

TYPICAL BULK - SERIES 7 VAULT DETAIL
SCALE: NTS



676-LA
6 X 7 X 6
POWER WATER GAS

Oidcast Precast
 PO Box 303, Wapakoneta, Ohio 45370-0303
 Tel: (937) 832-2844 Fax: (937) 862-2827
 oidcastprecast.com/wapakoneta

TYPICAL 676LA VAULT
SCALE: NTS

811
 View what's below.
 Call before you dig.

NO.	DATE	ENGINEER	DRAWN	CH	OR	BY	DATE	REVISION
1	3/1/18	MD	CH					ORIGINAL
2								REVISION # 1

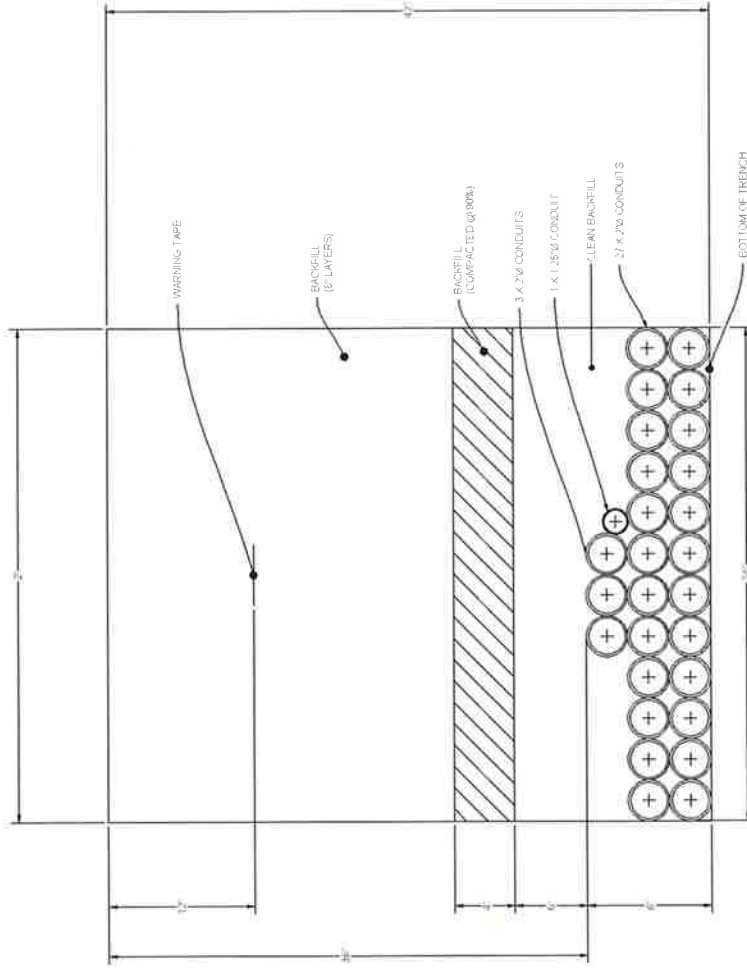
811
 View what's below.
 Call before you dig.

zayo
 Fiber Optics Network
 10300 W. Yampa Ave., Suite 200
 Denver, CO 80231
 Tel: (303) 733-3800

MGE
 Energy Protection
 30110 Highway 275
 Denver, CO 80238
 Tel: (303) 750-0440

676-LA VAULT
 6 X 7 X 6
 POWER WATER GAS
 3/1/18

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1
SCALE: NTS

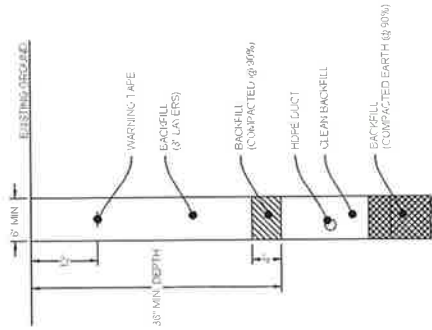


Kevin J. Dalton
Civil Services, Inc.

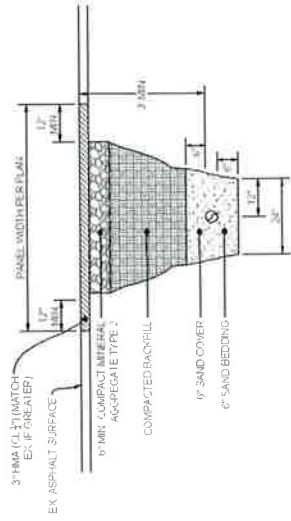
NO.	DATE	BY	CHK	AS-BUILT
1	3/7/15	JD	CH	REVISION # 1
2				ORIGINAL
3				COMMENT

zayo GROUP	MGS MECHANICAL GROUP SERVICES
ZAYO ENGINEER - DAN HERRMAN	
REVISED FROM SDC ELECTRICAL CONSULTING INC.	
PROJECT NUMBER	
LOCATION	1225 MURDER LAKE
IDENTIFICATION	DVA11LA GR 07282
	ZAYO ENGINEER DAN HERRMAN
	CONSULTING ENGINEER
	DVA11LA GR 07282
	PROJECT NO. 07-15

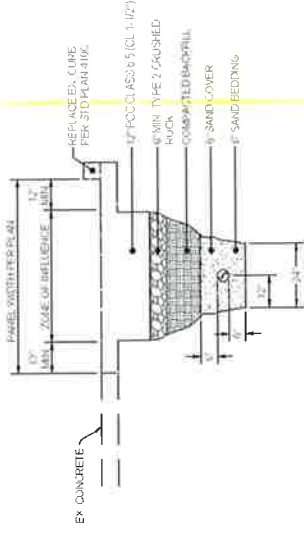
UNDERGROUND TYPICALS



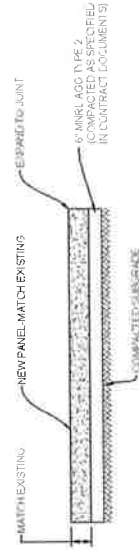
TYPICAL TRENCH IN SOIL DETAIL
SCALE: NTS



TYPICAL PATCH TRENCH DETAIL
SCALE: NTS



TYPICAL CONCRETE TRENCH DETAIL
SCALE: NTS



TYPICAL CONCRETE PANEL CROSS SECTION DETAIL
SCALE: NTS



Use chart below.
Call before you dig

NO.	DATE	BY	CHK	DESCRIPTION
1	3/1/18	BB	CH	ORIGINAL
2				COMMIT

AS-BUILT	REVISION #	DATE	BY	CHK	DESCRIPTION
	1				

811	zayo	MGE
ZAYO/811/811	CONTRACT NO.	MGE PROJECT NO.
811/811/811	CONTRACT DATE	MGE PROJECT DATE
811/811/811	CONTRACT LOCATION	MGE PROJECT LOCATION
811/811/811	CONTRACT DRAWING	MGE PROJECT DRAWING
811/811/811	CONTRACT SHEET	MGE PROJECT SHEET
811/811/811	CONTRACT SCALE	MGE PROJECT SCALE
811/811/811	CONTRACT DATE	MGE PROJECT DATE
811/811/811	CONTRACT BY	MGE PROJECT BY
811/811/811	CONTRACT FOR	MGE PROJECT FOR

ADDRESS: 709 WILLAMETTE ST, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	16,211 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	16,211 FT.

CONTACTS

ZAYO CONTACT
 DAN BARCOOMB
 22651 84RD AVE
 CLATSOP COUNTY, OR 97132
 DAN.BARCOOMB@ZAYO.COM

LEVI SPRIET
 MGS TECHNICAL CONSULTING INC
 824N 185TH AVENUE
 PORTLAND, OR 97227
 503.851.1633
 LEV@MGSTECHNICAL.COM

SHEET INDEX

- 1 COVER SHEET / SITE LOCATION
- 2 GENERAL NOTES
- 3 PLAN VIEW MAIN
- 4-17 UNDERGROUND TYPICALS
- 18 TYPICAL UNDERGROUND DETAIL
- 19 UNDERGROUND TYPICALS
- 20 UNDERGROUND TYPICALS

SCOPE OF WORK

PLACE CONDUIT AND VAULTS FROM NORTHWEST CORNER OF HWY 730 AND SIDE OF BEACH ACCESS ROAD WEST ON THE SOUTH SIDE OF ROXBURY RD WEST ON THE NORTH SIDE OF RIVERSIDE AVE SOUTH ON WILLAMETTE AVE WEST ON COLUMBIA RD TO THE WEST SIDE OF POWER CITY RD FOR FULL FIBER CABLE THROUGHOUT.



SCALE: NTS

1	3/7/18	DB	CH	AS-BUILT	REGION / 1
2	7/13/17	LS	DM	ORIGINAL	REGION / 1
3	DATE	ENGINEER	DATE/ISS	COMMENT	REGION / 1

zayo
 MGS
 MGS TECHNICAL CONSULTING INC

ZAYO ENGINEER DAN BARCOOMB
 ENGINEERING FIRM MGS TECHNICAL CONSULTING INC
 PROJECT NUMBER UMATILLA-09-18-17-001
 LOCATION UMATILLA, OR 97882
 DRAWING TITLE AND NUMBER BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - BULK CONDUIT
 SHEET 1 OF 20

GENERAL NOTES

GENERAL NOTES:

The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to the permittee for the accuracy of this information. Before starting any work in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF UMATILLA REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC ROW OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE CITY OF UMATILLA INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE CITY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS. PRIOR TO INSTALLATION A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY OF UMATILLA.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF UMATILLA INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE CITY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE CITY OF UMATILLA.



3	3/7/16	DD	CH	AS-BUILT
2	9/13/17	LS	OM	REVISION # 1
1				ORIGINAL
REV	DATE	ENGINEER	DRAWN BY	COMMENT

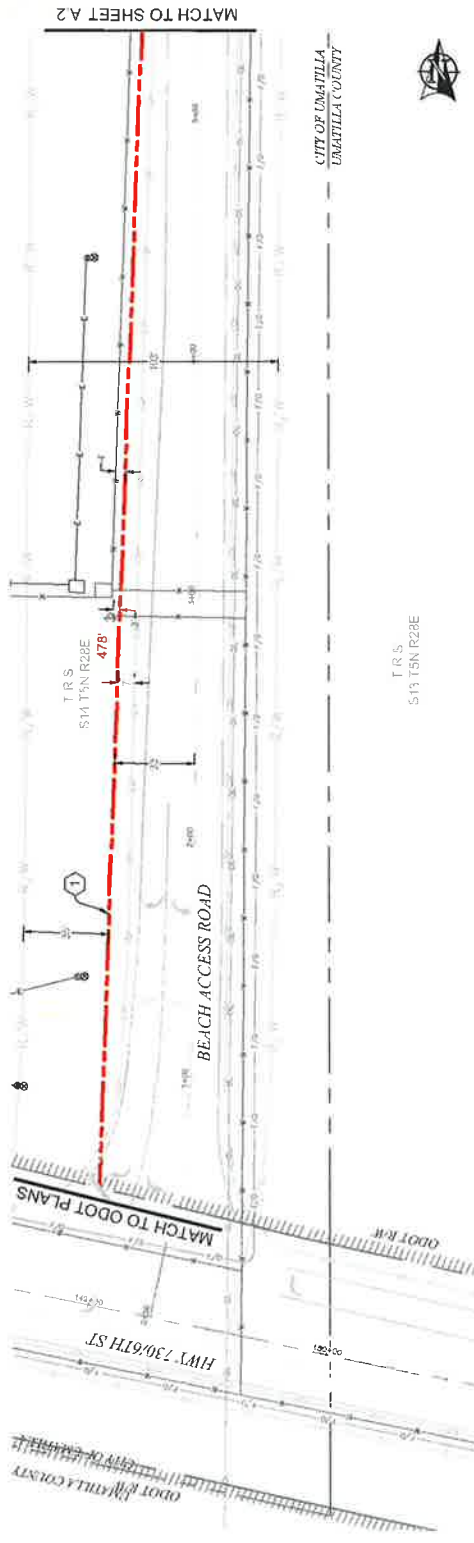


PROJECT: UMATILLA, OREGON
PROJECT NO: 16-001
PROJECT NAME: UMATILLA, OREGON
PROJECT NUMBER: 16-001
LOCATION: UMATILLA, OREGON
DATE: 3/7/16
DESIGNED BY: MGC
DRAWN BY: MGC
CHECKED BY: MGC
DATE: 3/7/16

- CONSTRUCTION NOTES**
- (1) PROPOSED NEW (2) 2" CONDUITS AND (1) 1" X 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.
 - (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. SEE SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
ADD 1" OF COMPACT GROWL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW A.1



PLAN VIEW A.2

811
Know what's below
Call before you dig

SCALE: 1"=50'

0 25' 50'

NO	DATE	ENGINEER	DRAWN	CHK	APP	REVISION #	COMMENT
1	9/15/17	LS	DM			ORIGINAL	
2	3/7/18	IBB	CH				
3						AS-BUILT	

zayo
MGS

DESIGNED BY: LARSEN, LAC
CHECKED BY: BOVA, LAC
ISSUED BY: LARSEN, LAC
LOCATION: UMATILLA, OR 97152
PROJECT NAME: ZAYO UMATILLA TO TOWLEXP
SHEET # 1 OF 3

CONSTRUCTION NOTES

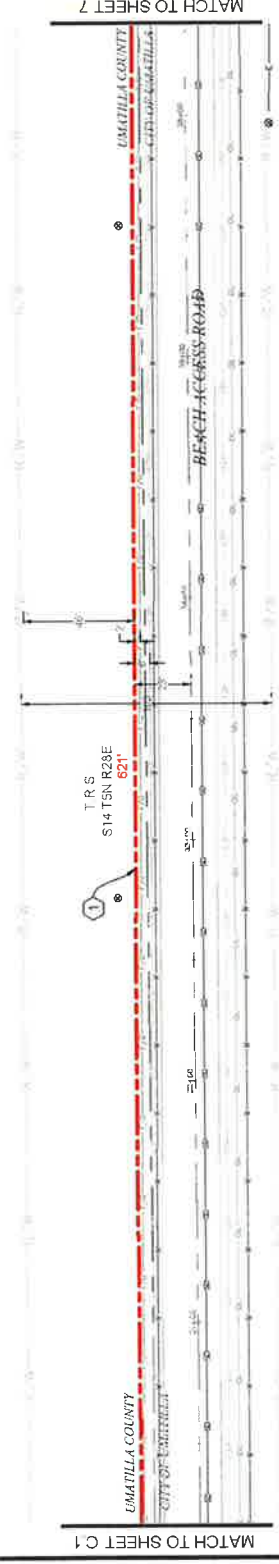
- (1) PROPOSED NEW (2) 2" CONDUITS AND (1) 1" X 6" CONDUIT. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PULL FIBER THROUGH. SEE VAULT DIAGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SORT MARKERS REQUIRED EVERY 500'
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW C.1



PLAN VIEW C.2



REV	DATE	BY	CHK	AS-BUILT
3	3/1/18	BB	CH	REVISION # 1
1	9/13/17	LS	EM	ORIGINAL
DATE	DRAWN	CHECKED	DATE	COMMIT

Zayo
 ENGINEERS DAN BARSONE
 ENGINEERING FIRM MISC. TECHNICAL CONSULTING INC.
 PROJECT NUMBER
 LOCATION: 709 WILLAMETTE ST
 UMATILLA, OR 97142
 DRAWING TITLE: FIBER OPTIC NETWORK FOR CONDUIT - CITY OF UMATILLA
 CONSTRUCTION PROJECT PART

MGS
 CONSULTING ENGINEERS

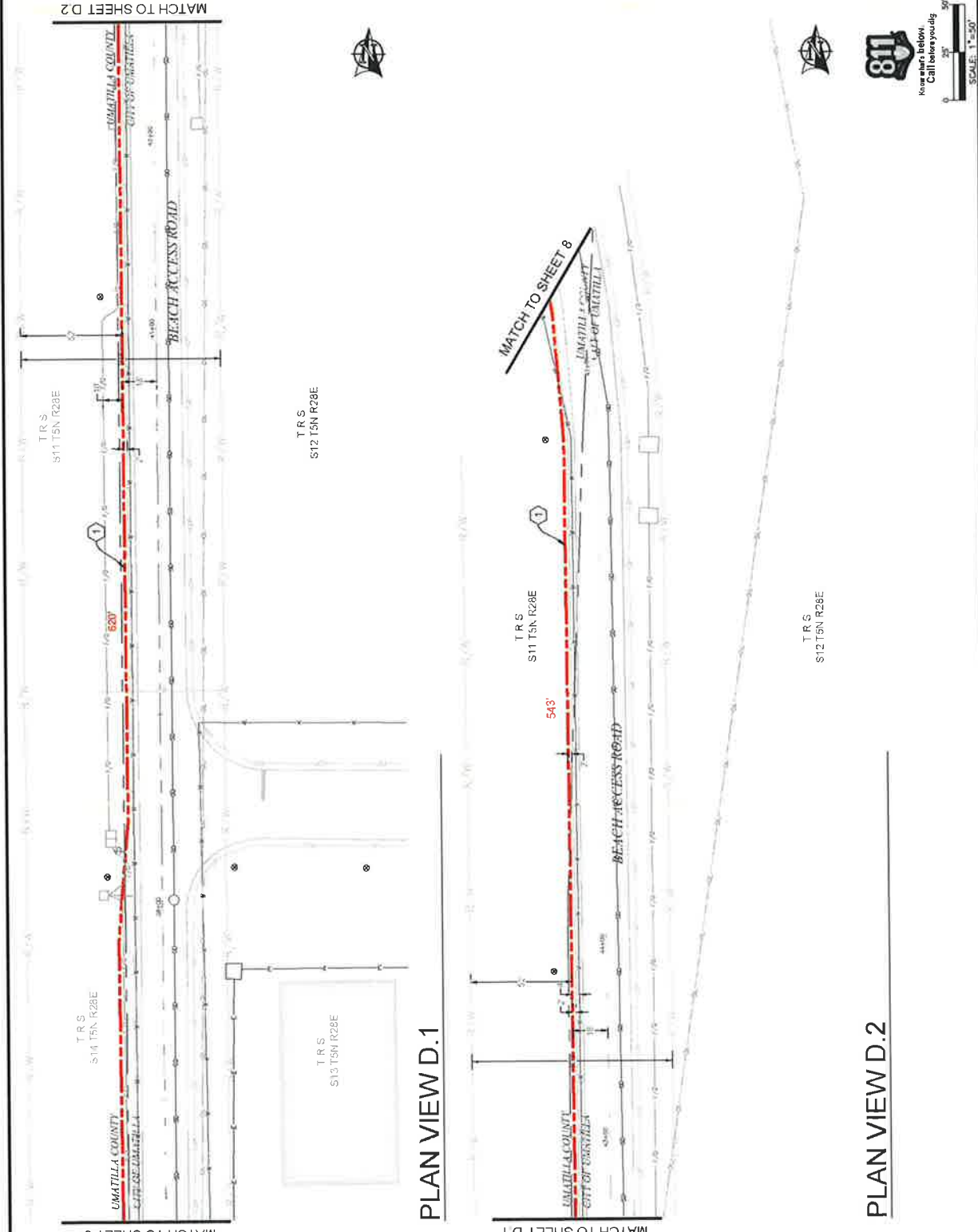
DATE: 3/1/18
 DRAWN: LS
 CHECKED: CH
 DATE: 9/13/17
 BY: BB
 CHK: CH

CONSTRUCTION NOTES

1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



NO.	DATE	ENGINEER	DRAWN	COMMIT	AS-BUILT
1	5/7/18	BB	CH	ORIGINAL	REVISION # 1
2	9/13/17	LS	DM		

zayo
DIGITAL COMMUNICATIONS

MGS
DIGITAL COMMUNICATIONS

DESIGNED BY: MGS
 PROJECT NUMBER: 1822
 PROJECT NAME: 1822 TELETYPE CONDUITS
 LOCATION: 1822 TELETYPE ST
 UMATILLA, OR 97582
 DRAWN BY: JEFFREY BROWN
 CHECKED BY: JEFFREY BROWN
 SCALE: 1"=500'
 SHEET: 7 OF 20

811
 Home or, below.
 Call before you dig.

SCALE: 1"=500'

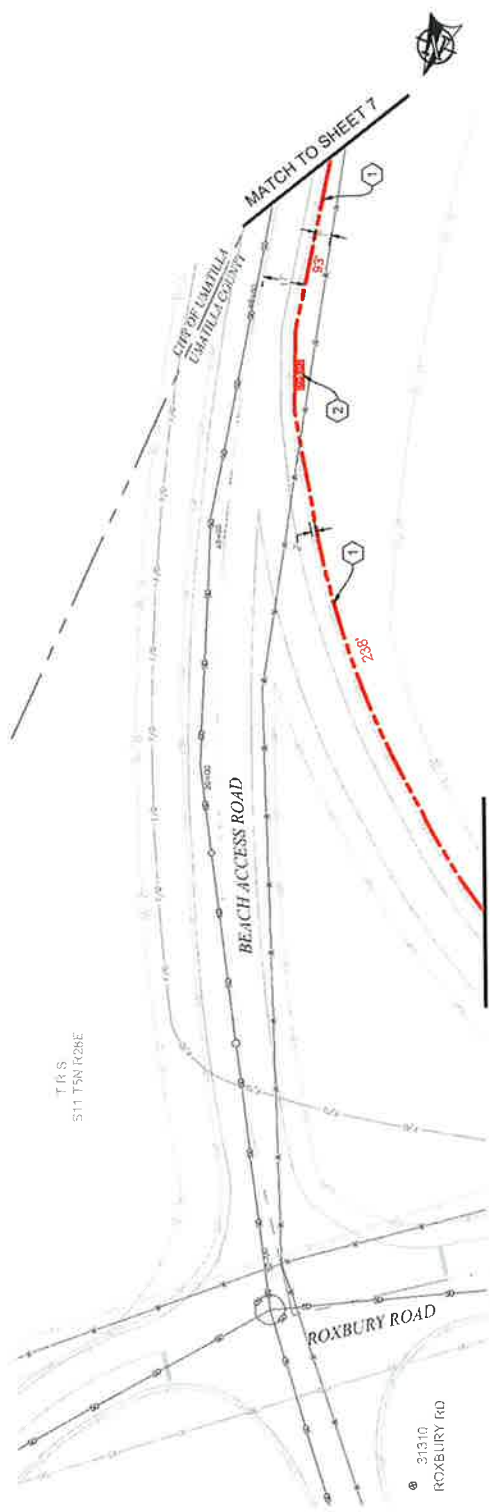
0 25 50'

CONSTRUCTION NOTES

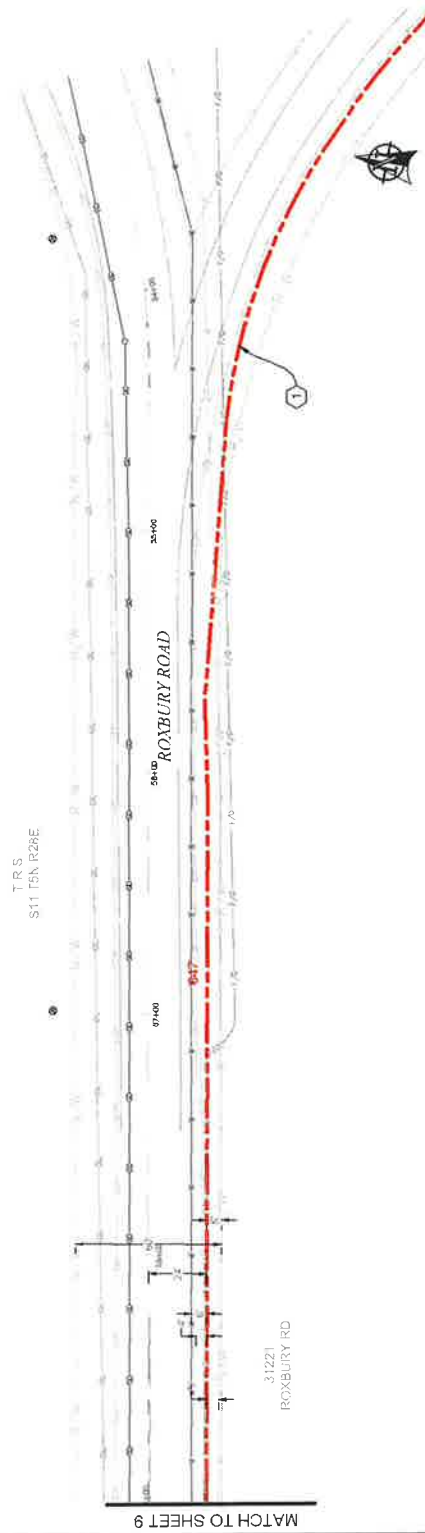
- (1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" X 4" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT. PULL FIBER THROUGH. SEE VAULT DIAGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
ADD 1' OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW E.1



PLAN VIEW E.2

811
New holes below
Call before you dig.
SCALE: 1"=50'

NO.	DATE	DRAWN BY	CHECKED BY	REVISION #	COMMENT
1	9/13/17	LS	DM	ORIGINAL	
2	3/1/18	BB	CH		AS-BUILT

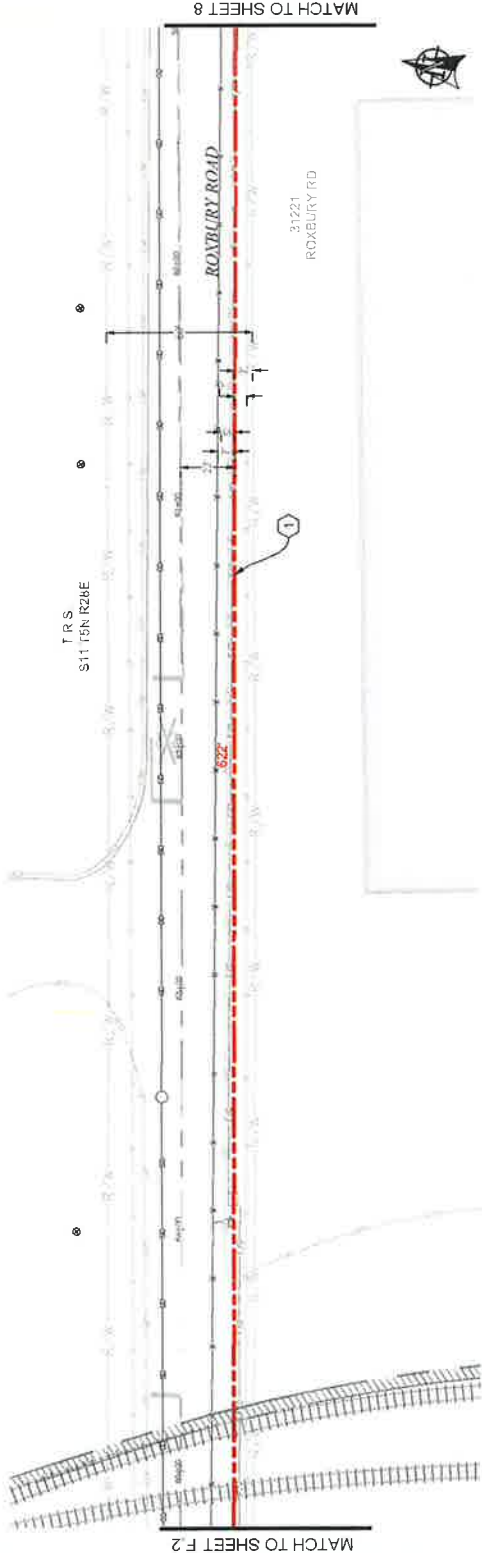
ZAYO
ZAYO ENGINEERING, INC. 111 CHESTNUT STREET, 10TH FLOOR, PHILADELPHIA, PA 19106
PROJECT NUMBER: 109WILLAMETTE E1
LOCATION: 109WILLAMETTE E1
DRAWN BY: ZAYO - COMPARISON TO DRAFT - CITY OF DOWNTOWN PHILADELPHIA
DATE: 3/1/18
SHEET 3 OF 28

CONSTRUCTION NOTES

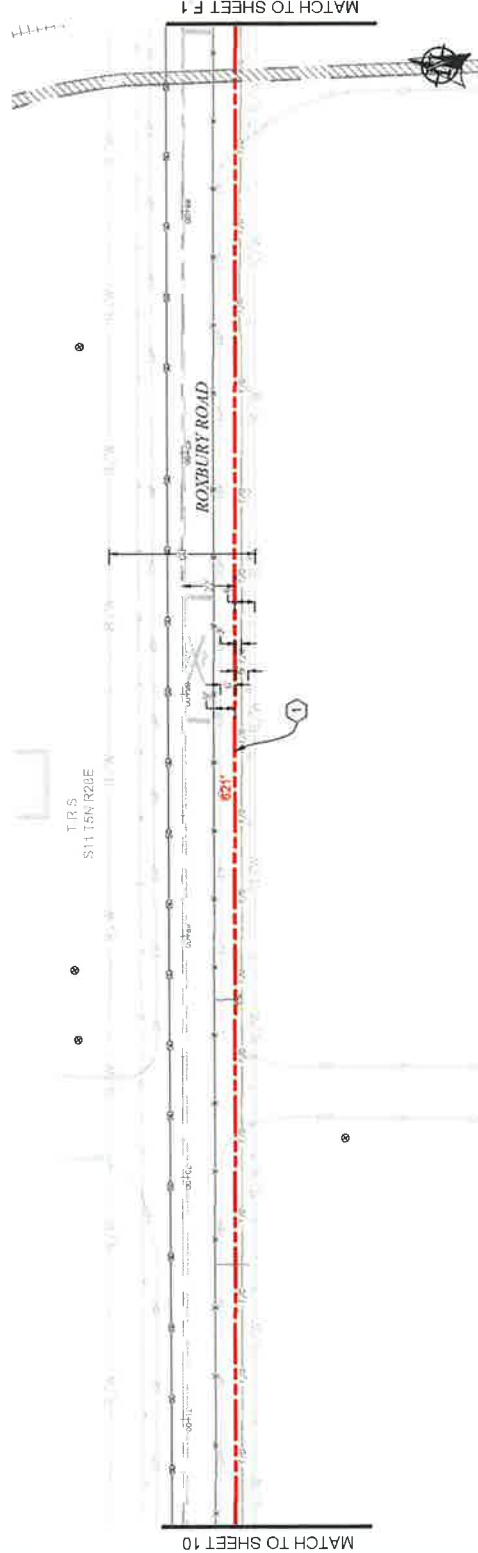
1. PROPOSED NEW (27) 2" CONDUITS AND (1) 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW F.1



PLAN VIEW F.2

NO.	DATE	ENGINEER	LS	DM	CH	AS-BUILT
1	3/7/18	IB	LS	DM	CH	ROXBURK # 1 ORIGINAL
2	9/13/17	LS	DM	CH	DM	COMMIT



ZAYO ENGINEER: DAN BARCACCIE
 PROJECT: 18-115-0100A - ZORELA TRAIL/BIK
 PROJECT NUMBER: 18-115-0100A-01
 LOCATION: 700 WILMINGTON ST
 IMAHALLA, OH 45632
 DRAWING DATE: JAVO 18-115-0100A TO IMAHALLA
 PROJECT NUMBER: 18-115-0100A-01
 PROJECT: 18-115-0100A



Know what's below.
 Call before you dig.

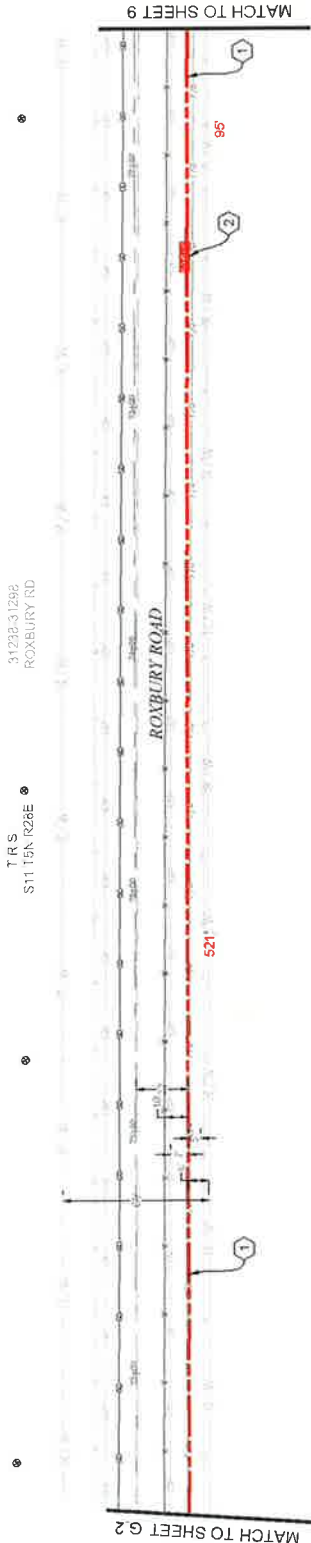
SCALE: 1"=50'

CONSTRUCTION NOTES

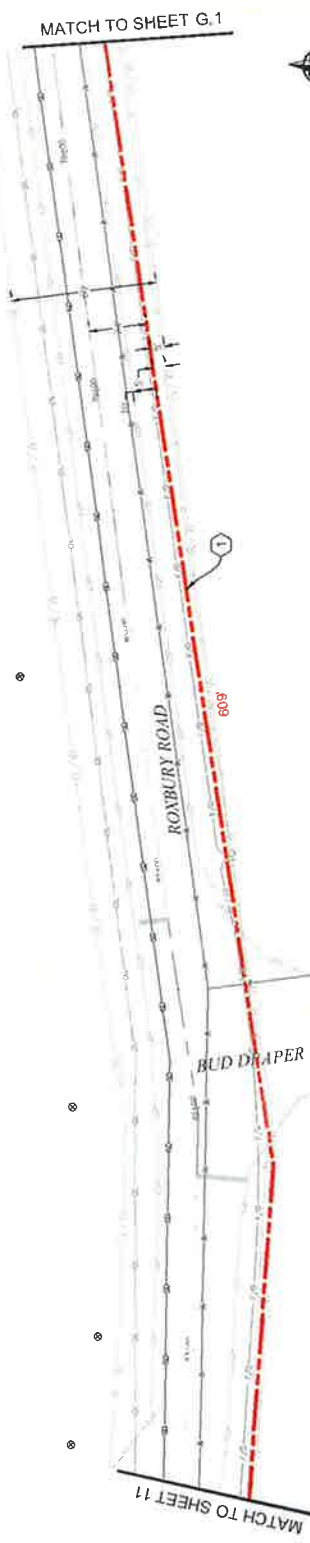
- 1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH POTHOLE UTILITIES PRIOR TO CONSTRUCTION.
- 2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT. PULL FIBER APPROACH FROM VAULT #1 TO VAULT #2 ON SHEET 1B. SEE VAULT DETAILS ON SHEET 1B.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GRANIEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW G.1



PLAN VIEW G.2



Know what's below. Call before you dig.



3	AS-BUILT																		
2	3/7/16	BB	CH	LS	EW														
1	9/13/17	LS	EW																
REV.	DATE	ENGINEER	DRAWER	COMMENTS															



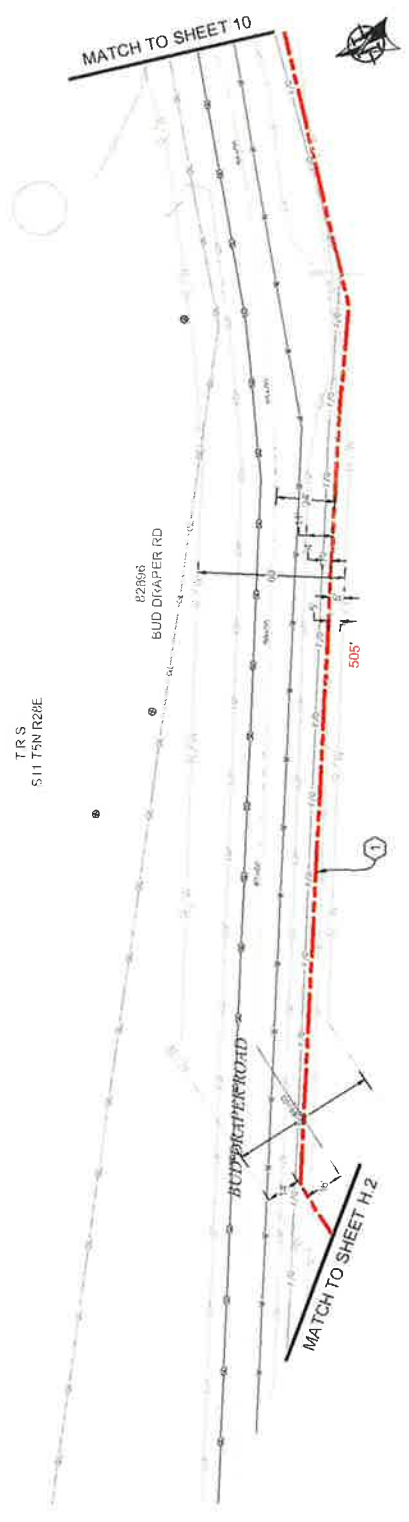
ZAYO ENGINEERS - DAN BRANSON
 PROJECT: FIBER OPTICAL CABLE TESTING, CORRECTIONS, INC.
 PROJECT NUMBER: 1705
 LOCATION: 705 WILLAMETTE ST
 JMWVILLE, OR 97146
 PROJECT NUMBER: 1705
 LOCATION: 705 WILLAMETTE ST
 JMWVILLE, OR 97146
 SCALE: 1" = 50'

CONSTRUCTION NOTES

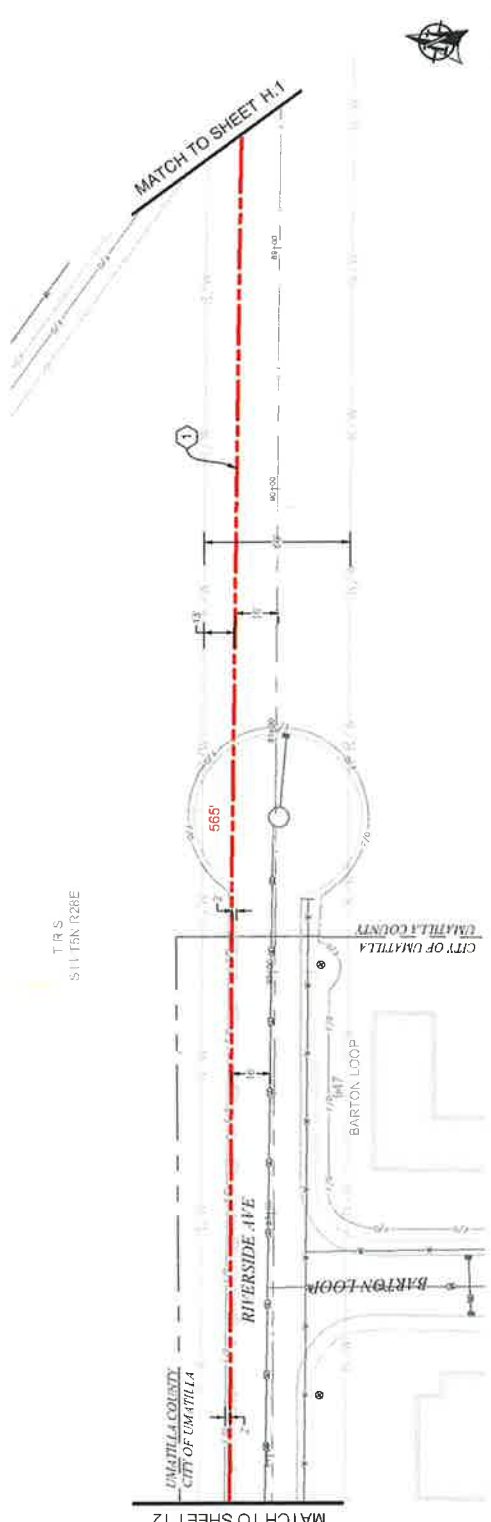
(1) PROPOSED NEW (27" 2' CONDUITS AND (1) 1" CONDUITS: PULL FIBER CABLE THROUGH, REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW H.1



PLAN VIEW H.2



0 50' 100' 150' 200' 250' 300'

SCALE: 1" = 50'

NO.	DATE	ENGINEER	DESIGNER	COMMIT	AS-BUILT
1	8/13/17	LS	DM	ORIGINAL	REVISION # 1
2	3/7/18	BB	CH		



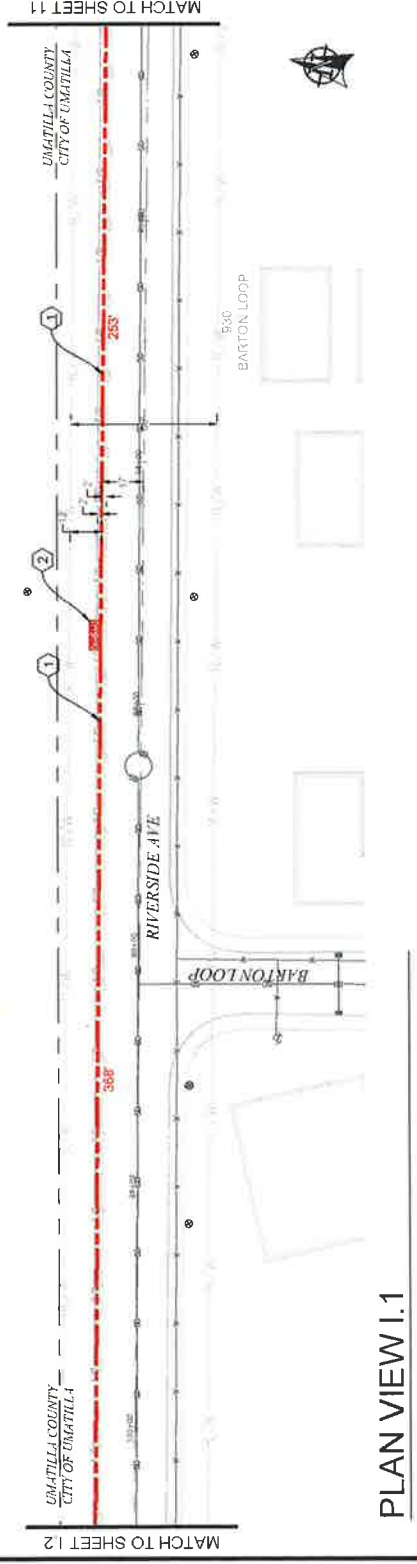
ZAYO ENGINEER: DAN BERG, CPE
 PROJECT NUMBER: 2018-0017-001-001
 CONSULTING FIRM: ZAYO ENGINEERING, INC.
 LOCATION: 700 WILLAMETTE ST
 UMATILLA, OR 97142
 DRAWING NUMBER: ZAYO-DWGR-2018-0017-001-001-001
 DRAWING DATE: 03/07/2018
 SHEET: 13 OF 31

CONSTRUCTION NOTES

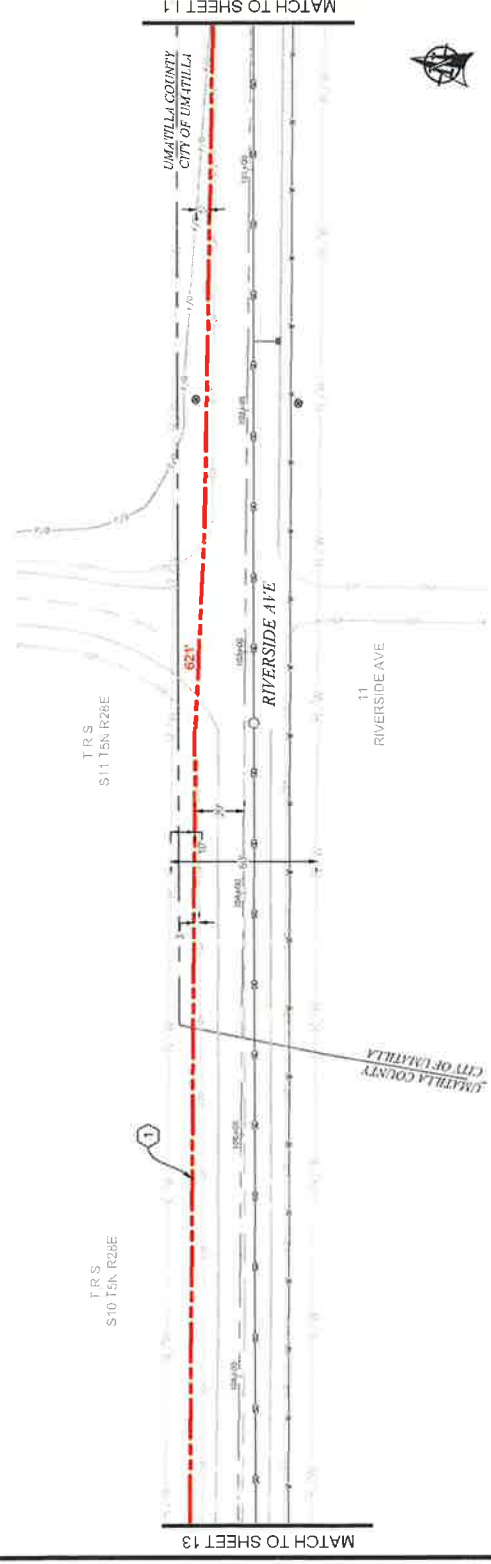
- (1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" X 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PULL FIBER THROUGH. SEE VAULT DIAGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'
ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW I.1



PLAN VIEW I.2



0' 10' 20' 30' 40' 50'

SCALE: 1"=50'

NO.	DATE	ENGINEER	DRAWER	LS	DM	CH	AS-BUILT
1	9/15/17	LS	DM				REVISION # 1 ORIGINAL
2	3/7/18	BB	CH				

Zayo
COMMUNICATIONS

MGS
MUNICIPAL ENGINEERING SERVICES

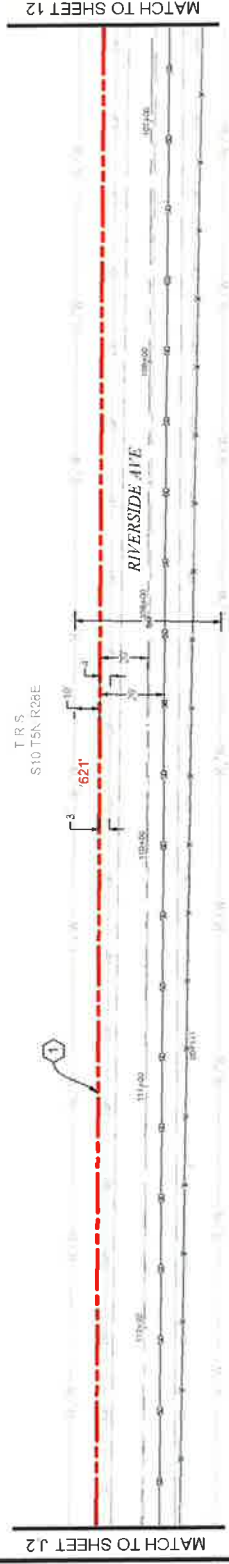
ZAYO ENGINEER - EASTMAN KANE
LEADS ENGINEER - MCGAHEE/STEELE/THORPE INC.
PROJECT NUMBER -
LOCATION - UMATILLA, OREGON
CONTRACT NUMBER - UMATILLA, OREGON 17-002
CONTRACT DESCRIPTION - UMATILLA, OREGON 17-002
DRAWING NUMBER -
SHEET 12 OF 38

CONSTRUCTION NOTES

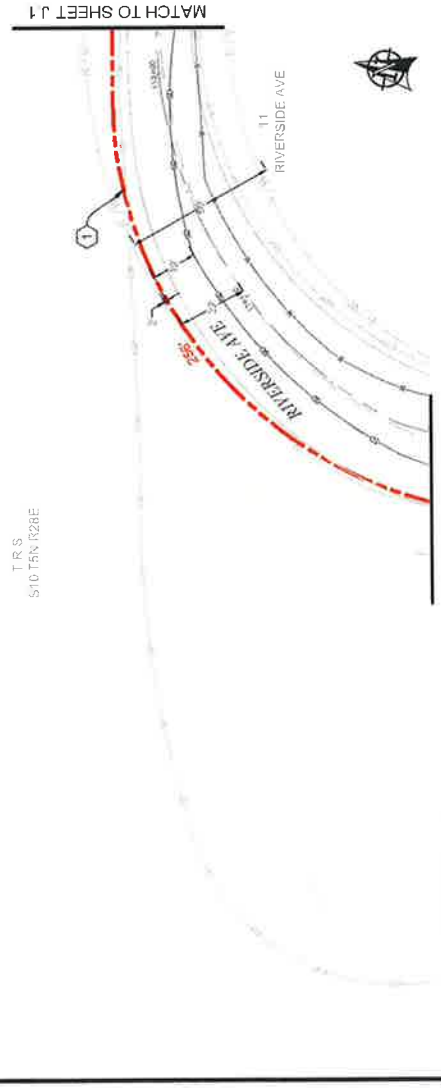
1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" X" CONDUITS. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POthOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW J.1



PLAN VIEW J.2

811
 Know what's below
 Call before you dig

SCALE: 1" = 50'

NO.	DATE	ENGINEER	DRAWN	AS-BUILT	REVISION #
1	3/1/18	BB	CH		1
2	8/13/17	LS	DM		ORIGINAL
3					COMMIT

Zayo
 Zayo Fiber Services, Inc. | 10000 N. 10th Street, Suite 1000 | Phoenix, AZ 85020

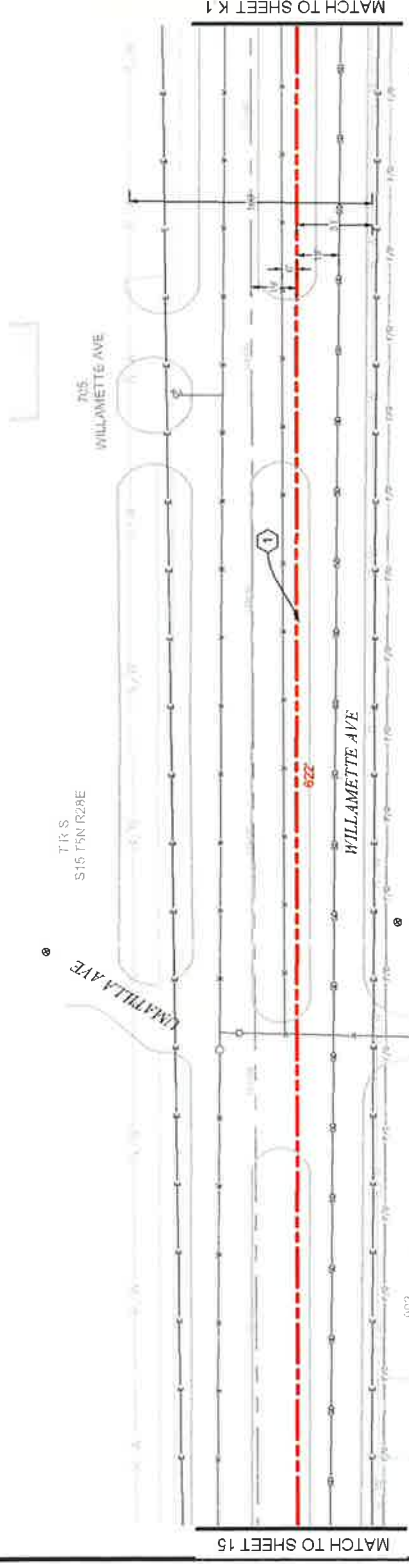
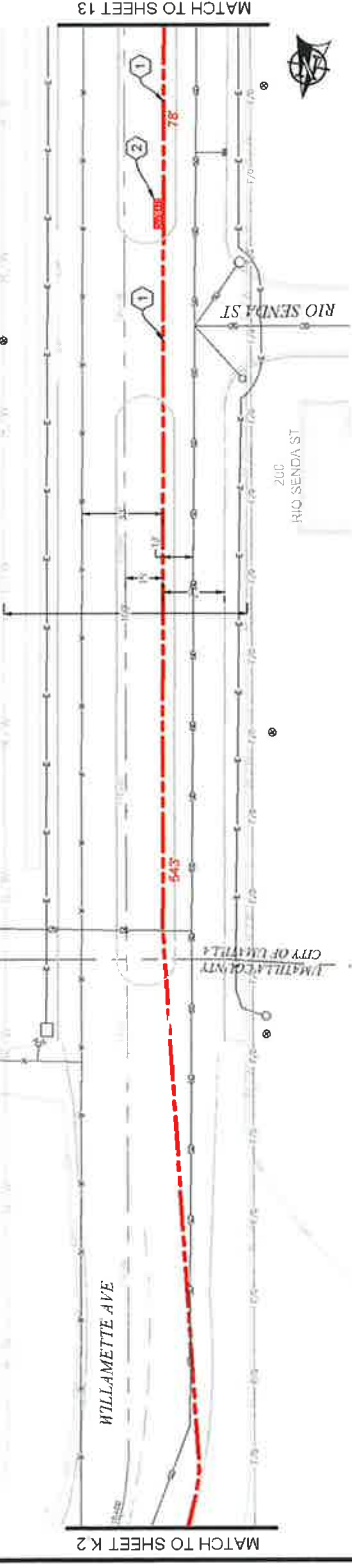
MGS
 Mechanical, Electrical, Plumbing & Fire Protection Engineers, Inc.

PROJECT NUMBER: 17011111111111111111
 LOCATION: RIVERSIDE AVE, J.1
 DRAWN BY: LS
 CHECKED BY: DM
 DATE: 8/13/17
 SHEET: 11 OF 22

- CONSTRUCTION NOTES**
- (1) PROPOSED NEW (27) 2" CONDUITS AND (1) 1" X 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
 - (2) PROPOSED PLACE (1) 30" X 48" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 24" X 48" BULK SERIES 4 VAULT. PULL FIBER THROUGH SEE VAULT DIAGRAM V-2 ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GROWEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



NO.	DATE	ENGINEER	DRAWN	CHK	REVISED	BY	REVISION #
1	9/13/17	LS	DM	DM	ORIGINAL		
2	3/7/19	UB	CH	CH			

zayo
 zayo.com
 MGS
 MGS CONSULTING LLC

PROJECT NUMBER: 790 WILLAMETTE ST
 LOCATION: 790 WILLAMETTE ST
 PROJECT NAME: ZAYO WIRE MESH AND VAULTS TO UPGRADE CITY OF LINN COUNTY
 SHEET 18 OF 20

811
 Know what's below.
 Call before you dig.

SCALE: 1"=50'

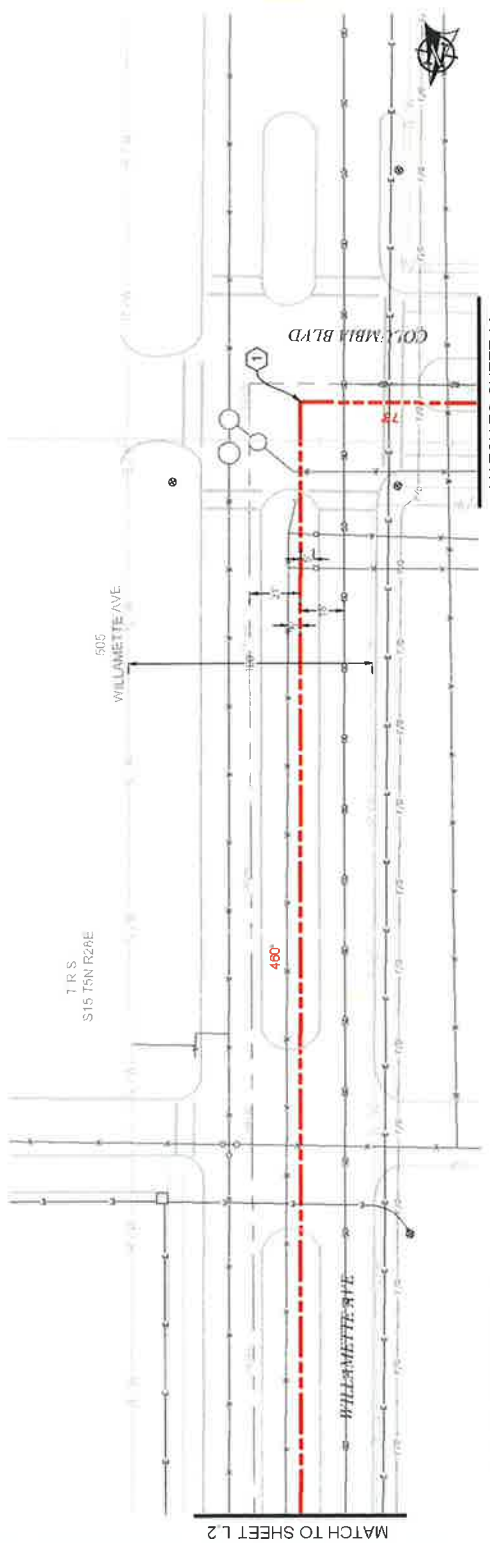
0' 25' 50'

CONSTRUCTION NOTES

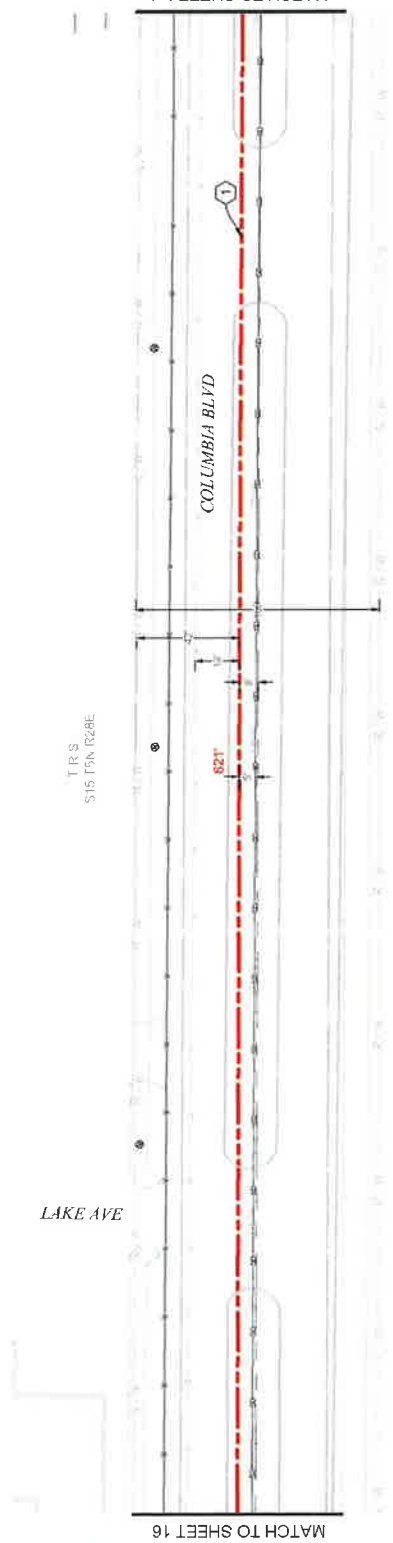
1. PROPOSED NEW (27) 2" CONDUITS AND (1) 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH POTHOLE UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW L.1



PLAN VIEW L.2

500 WILLAMETTE AVE

NO.	DATE	ENGINEER	LS	DM	DN/EP	COMMIT	AS-BUILT
1	9/13/17						ORIGINAL
2	3/7/18						REVISION # 1

ZAYO
CORPORATION

MGS
MANAGEMENT GROUP SERVICES, INC.

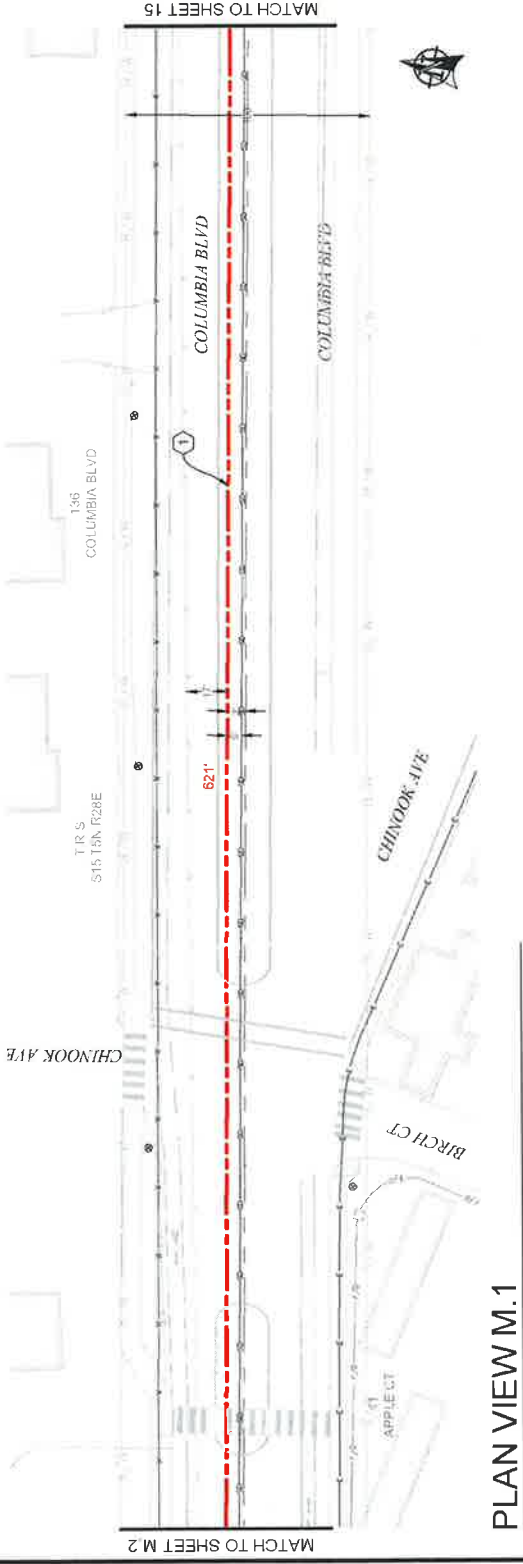
ZAYO CORPORATION - 2000 W. 10TH AVENUE, SUITE 200
 2000 W. 10TH AVENUE, SUITE 200
 PORTLAND, OR 97202
 PHONE: 503.253.1000
 FAX: 503.253.1001
 WWW.ZAYO.COM

PROJECT: 1700 WILLAMETTE ST
 LOCATION: 1700 WILLAMETTE ST
 DRAWING: 1700 WILLAMETTE ST
 SHEET 15 OF 35

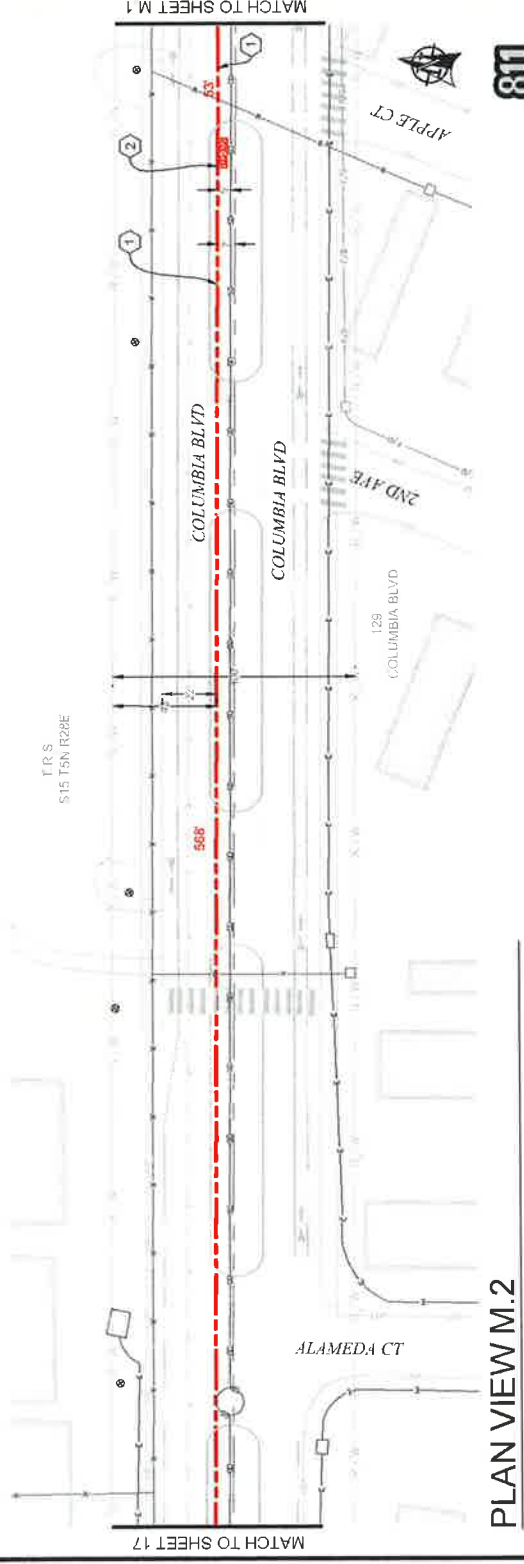
- CONSTRUCTION NOTES**
- (1) PROPOSED NEW (2) 2" CONDUITS AND (1) 1" X 1" CONDUIT. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO POT-HOLE UTILITIES PRIOR TO CONSTRUCTION.
 - (2) PROPOSED PLACE (1) 30" X 18" BULK SERIES 7 VAULT. PROPOSED PLACE (1) 30" X 18" BULK SERIES 4 VAULT. PLACE THE VAULTS IN THE MIDDLE OF THE BLOCK ON SHEET 18. SEE VAULT DETAILS ON SHEET 19.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW M.1



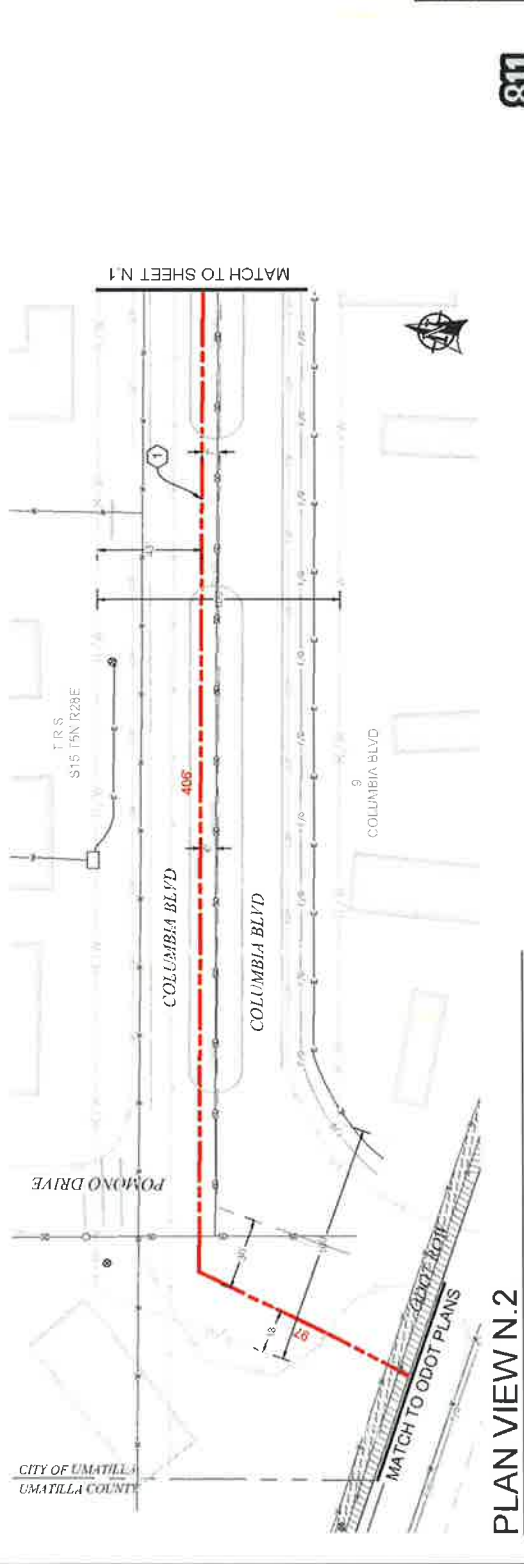
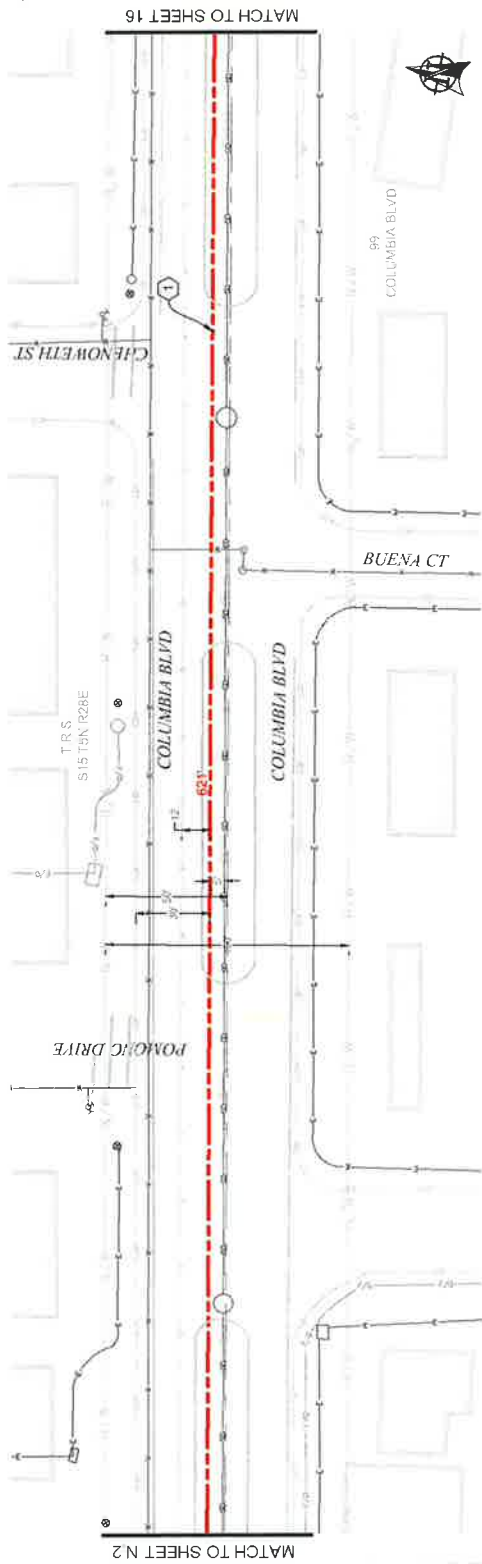
PLAN VIEW M.2

NO.	DATE	ENGINEER	DRAWN	COMMENTS
1	8/13/17	LS	DM	ORIGINAL
2	3/7/18	BB	CH	AS-BUILT REVISION # 1

PROJECT: 15000000000000000000
 LOCATION: PORTLAND, OREGON
 DRAWING NO.: 15000000000000000000
 SCALE: 1"=50'
 SHEET 18 OF 18

CONSTRUCTION NOTES
 (1) PROPOSED NEW (2) 2" CONDUITS AND (1) 1" X 1" CONDUIT. PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO RETHROW UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



811
 Know what's below.
 Call before you dig.

NO.	DATE	ENGINEER	LS	OM	CH	AS-BUILT
1	9/13/17					REVISION # 1
2	3/1/18					ORIGINAL
3						COMMENT

zayo
 MGS
 MGS CONSULTING

ZAYO/REPAIR UTILITIES CASE
 PROJECT NUMBER: 154715 REPAIR UTILITY
 PROJECT NAME:
 LOCATION: UMATILLA
 DRAWING NUMBER: 154715-001
 DRAWING DATE: 9/13/17
 DRAWING BY: JAYO
 CHECKED BY: JAYO
 APPROVED BY: JAYO
 PROJECT NUMBER: 154715
 PROJECT NAME: ZAYO/REPAIR UTILITIES CASE
 DRAWING NUMBER: 154715-001
 DRAWING DATE: 9/13/17
 DRAWING BY: JAYO
 CHECKED BY: JAYO
 APPROVED BY: JAYO



VAULT DETAILS

BODY SPECIFICATIONS

Cover Weight 50 lbs [23 kg]
 Pit Weight 82 lbs [37 kg]
 Assembled Weight 132 lbs [60 kg]

D. C. Shields & Associates
SHIELD
 Composite Cover

BULK
 BULK 4 Vault Body
 36" (914 mm) Depth
 Shown

36" (914)
 40.3/8" (1026)
 35.1/2" (900)
 24" (610)
 28.3/4" (731)

TYPICAL BULK - SERIES 4 VAULT DETAIL

SCALE: NTS

BODY SPECIFICATIONS

Cover Weight 64-in (6mm) 50 lbs [23 kg]
 Pit Weight 129 lbs [59 kg]
 Assembled Weight 229 lbs [105 kg]

Driving shown with
SHIELD
 Composite Cover

BULK
 BULK 7 Vault Body
 36" (914 mm) Depth
 Shown

36" (914)
 32.1/2" (827)
 30.1/4" (772)
 24" (610)
 42.1/4" (1073)
 14.3/4" (375)

TYPICAL BULK - SERIES 7 VAULT DETAIL

SCALE: NTS

676-LA

4" x 4" Lin. Anchor
 (4 Pieces in Total)
 (See Note 1)

Touch Cover

Standard Diamond Mesh Door
 (1) (See Note 2)

Optional Mesh Door
 (1) (See Note 3)

Optional Mesh Door
 (1) (See Note 4)

2" x 4" Lin. Embedded "C" Channel
 (3 Each Side)

TOP
 676-LA-T-2-332P
 2,340 lbs

Reinforced Polyethylene
 (1) (See Note 5)

BASE
 676-LA-B
 1,472 lbs

18" x 14" x 3/8" (2 Bolt Wash)

OPTIONAL TOPS

15" Dia. Slamp

18" Dia. Slamp

3/8" Dia. Slamp

REINFORCEMENT
 18" x 14" x 3/8" (2 Bolt Wash)

LOCATIONS: SEE 300P
 676-LA-T-2-332P
 676-LA-B

Note: Dimensions shown in inches.
 - Note: 676-LA-B is shown.
 - Note: Available in heights as required.



NO.	DATE	ENGINEER	DRAWER	REVISION #	AS-BUILT
1	9/13/17	LS	DM	ORIGINAL	
2	3/7/18	BB	CH		

811
Home, Work, School!
Call before you dig

ZAYO
ENGINEERS

ZAYO ENGINEERS - EAST WINDSOR
 ENGINEERS FIRM - INC. TECHNICAL CONSULTING INC.
 PROJECT NUMBER
 LOCATION: 200 WILLAMETTE ST
 LIMA, OR 97126
 DRAWING TITLE: ZAYO PREPARED TO BE BUILT - CITY OF WINDSOR
 1/2" = 1' - SCALE: POSITIVE (NOT)

MGE
Municipal Government Engineering

SHEET 02 OF 02

676-LA
 6 x 7 x 6
 POWER WATER GAS

Castelite Precast®

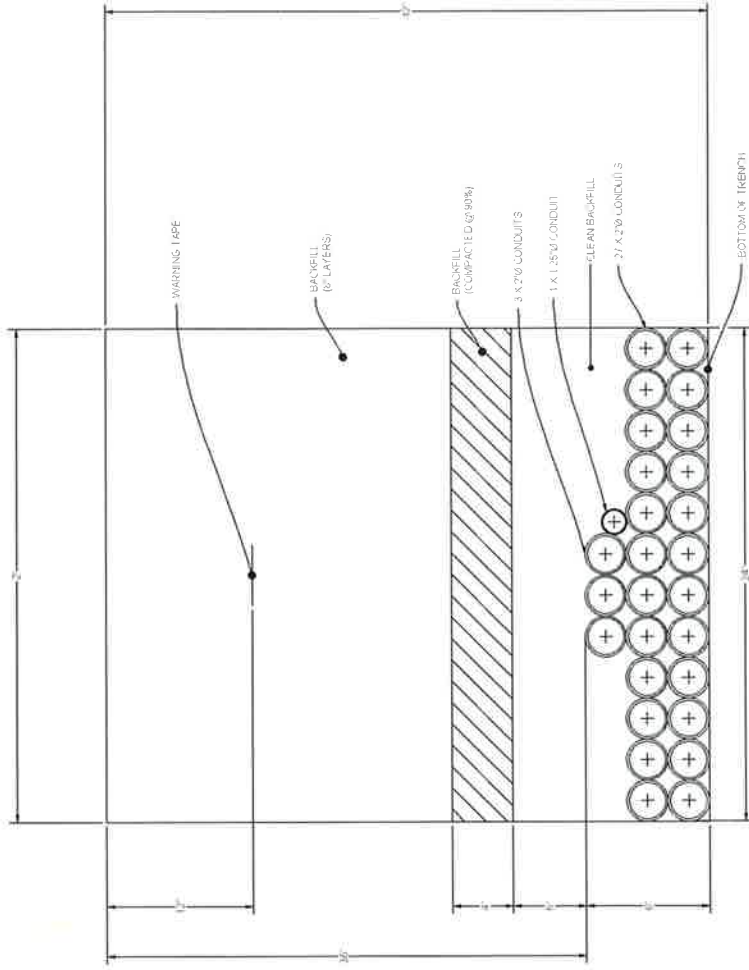
File No: 104381-1-1
 Issue Date: 2/18
 1000 S. 232. Williamsburg, Oregon 97138-0023
 Tel: 503/762-2844 Fax: 503/762-2557
casteliteprecast.com/windorville

Note: Designed for D or S-3" of Cover

TYPICAL 676LA VAULT

SCALE: NTS

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1
SCALE: NTS



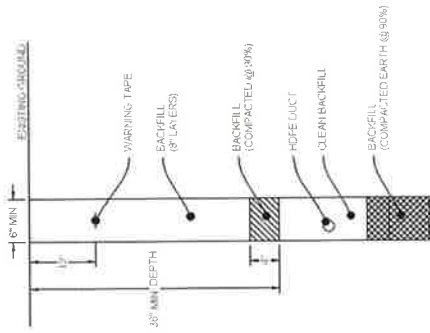
Know what's below
Call before you dig

3	AG-BUILT			
2	3/7/18	DM	CH	REVISION # 1
1	9/13/17	LS	DM	ORIGINAL
NO	DATE	ENGINEER	DRAWER	COMMENTS

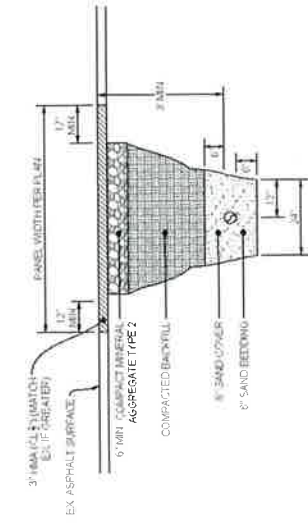
zayo
MGS
MGS CONSULTING & ENGINEERING

PROJECT NAME: DUCT BANK TRENCH
LOCATION: 200 WALLABY STREET
UMAILLA, OR 97142
DRAWN BY: JAY WARD
CHECKED BY: JAY WARD
DATE: 09/28/17

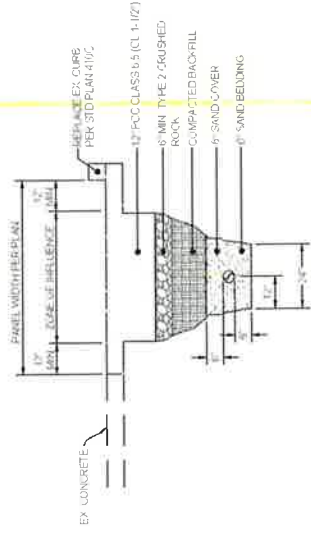
UNDERGROUND TYPICALS



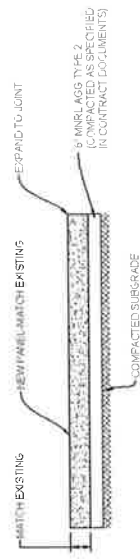
TYPICAL TRENCH IN SOIL DETAIL
SCALE NTS



TYPICAL PATCH TRENCH DETAIL
SCALE NTS



TYPICAL CONCRETE TRENCH DETAIL
SCALE NTS



TYPICAL CONCRETE PANEL CROSS SECTION DETAIL
SCALE NTS

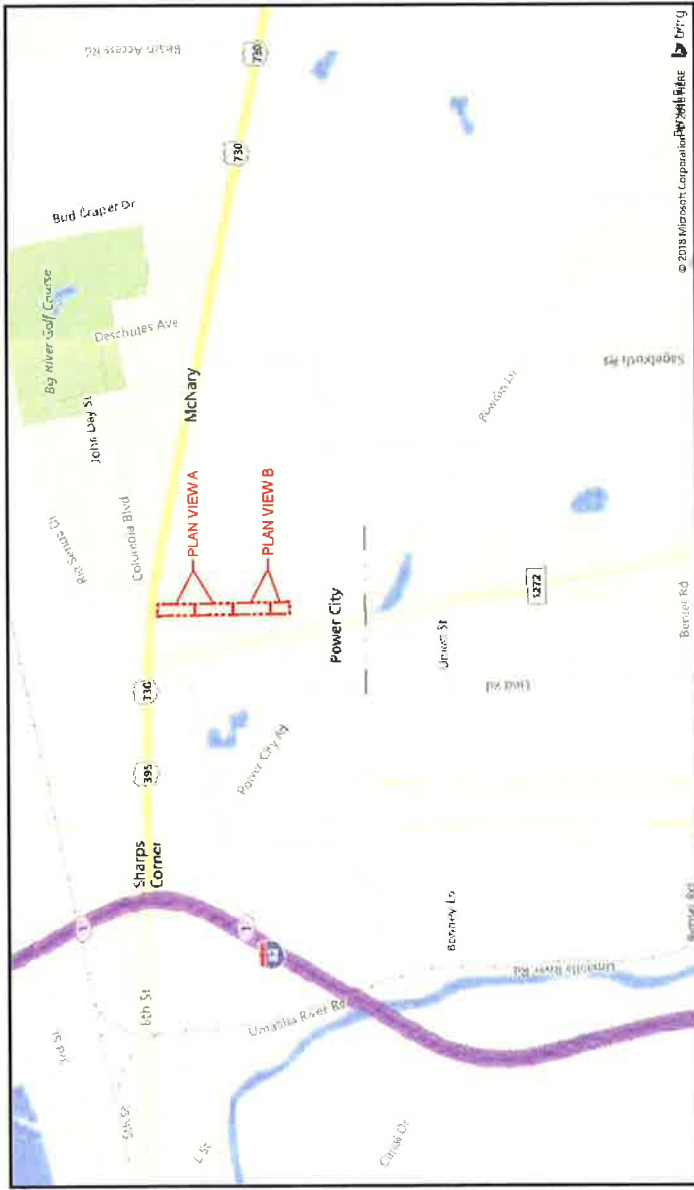


NO.	DATE	ENGINEER	LS	DM	CHK	REVISED BY	AS-BUILT
1	9/13/17	LS	DM	DM	DM	ORIGINAL	REVISION # 1
2	3/1/18	DM	DM	DM	DM	ORIGINAL	REVISION # 1

 ZAYO COMMUNICATIONS ENGINEERING FROM INSPIRE TECHNICAL CONSULTING INC. PROJECT NUMBER: 709 WALLAWETTE ST LOCATION: UMATILLA, OR 97142 DRAWING TITLE: TYPICAL UNDERGROUND TRENCH SHEET: 30 OF 30	 MGS CONSULTING
--	-----------------------

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882

PROJECT NAME: BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - EAST LATERAL - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	2,050 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	2,050 FT.

CONTACTS

ZAYO CONTACT:
DAN BARCOMBE
22851 83RD AVE S
KENT WA 98032
C. 509.727.3345
DAN.BARCOMBE@ZAYO.COM

BRYSON BAILY
MGC TECHNICAL CONSULTING, INC.
6244 185TH AVE NE
REDMOND WA 98052
C. 206.799.3001
BRYSON@MGCTECHNICAL.COM

SHEET INDEX

1. COVER SHEET / SITE LOCATION
2. LEGEND
3. GENERAL NOTES
- 4-5. PLAN VIEWS A-B
6. DUCT SYSTEM DETAILS
7. UNDERGROUND TYPICALS

SCOPE OF WORK:

PLACE CONDUIT AND VAULTS SOUTH ON THE EAST SIDE OF WILWOOD LN. FROM THE SOUTH WEST CORNER OF EAST 7300 RD. UMATILLA COUNTY PLANS FULL FIBER CABLE THROUGHOUT

NO.	DATE	ENGINEER	DRAWER	COMMENT	AS-BUILT REVISION # 1
1	3/7/18	EB	EM	ORIGINAL	

ZAYO **MGE**
MUNGER LANE - BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - EAST LATERAL - BULK CONDUIT

ZAYO ENGINEER: DAN BARCOMBE
ZAYO ENGINEER: MGC TECHNICAL CONSULTING, INC.
PROJECT NUMBER: 18010000000000000000
LOCATION: 82353 MUNGER LANE UMATILLA, OR 97882
DRAWING TITLE: BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - EAST LATERAL - BULK CONDUIT
DRAWING NUMBER: 18010000000000000000

811
Miss what's below.
Call before you dig.

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEAM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EOP	EDGE OF PAVEMENT
EOTW	EDGE OF TRAVEL WAY
FOC	FACE OF CURB
F/O	FIBER OPTIC
HDPE	HIGH DENSITY POLYETHYLENE
HI	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RGS	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA	STATION
STM	STEAM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING		TRANSMISSION/DISTRIBUTION POLE
	RISER - PROPOSED		TRANSMISSION POLE
	CATCH BASIN/INLET (RECTANGULAR)		DISTRIBUTION POLE
	CATCH BASIN/INLET (ROUND)		GROUND/BOND
	FIRE HYDRANT		AERIAL STORAGE - EXISTING
	WATER/GAS VALVE		AERIAL STORAGE - PROPOSED
	LIGHT POST		VAULT/BUILDING STORAGE - EXISTING
	STREET LIGHT		VAULT/BUILDING STORAGE - PROPOSED
	TRAFFIC LIGHT ARM		POLE ANCHOR/DOWN GUY - EXISTING
	TREE		POLE ANCHOR/DOWN GUY - PROPOSED
	CULVERT		DOWN GUY TO EXISTING ANCHOR - PROPOSED
	WING WALL		SPLICE POINT - EXISTING
	BRIDGE		SPLICE POINT - PROPOSED
	STREET SIGN		TERMINATION - EXISTING
	ADA RAMP		TERMINATION - PROPOSED
	UTILITY POLE - EXISTING		PULLBOX - EXISTING
	UTILITY POLE - PROPOSED		PULLBOX - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		CONSTRUCTION NOTE / RESTORATION CALLOUT
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)		PHOTO-MARKER
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		NORTH ARROW
	HANDHOLE - PROPOSED (SIZE AND UTILITY TYPE MAY VARY)		
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	PEDESTAL - PROPOSED (SIZE MAY VARY)		
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	WET UTILITY MANHOLE - PROPOSED (SIZE AND UTILITY TYPE MAY VARY)		
	BORE PIT - PROPOSED (SIZE MAY VARY)		
	UTILITY POTHOLE		

INFORMATION TABLES

POLE NUMBER	7
EXISTING UTILITY	0'-0"
PROPOSED ATTACH	0'-0"

UTILITY POLE INFORMATION TABLE
(NUMBER OF ATTACHMENTS MAY VARY)

#F	IN:	OUT:	SEQUENTIAL IN/OUT CALLOUT
#F	IN:	INL:	SEQUENTIAL IN/TAIL CALLOUT
#F	TAIL:	OUT:	SEQUENTIAL TAIL/OUT CALLOUT

HATCH PATTERNS

	CONCRETE SIDEWALK
	GRASS/VEGETATION
	GRAVEL
	WATER



Know what's below.
Call before you dig.

NO.	DATE	BY	EM	DRWTR	COMMENT
1	3/17/15				ORIGINAL
2					
3					

AS-BUILT REVISION # 1



ZAYO PROJECT - DARTMOUTH COLLEGE
 LOCATION: 100 W. BROAD STREET, DARTMOUTH, NH 03824
 PROJECT NO: 15-001
 PROJECT NAME: DARTMOUTH COLLEGE
 DRAWING NO: 15-001-01
 DATE: 3/17/15
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 APPROVED BY: J. B. BROWN

GENERAL NOTES

GENERAL NOTES:

The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in this area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF UMATILLA REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE CITY OF UMATILLA INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION. ENSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION, AND WITH A MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE CITY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS PRIOR TO INSTALLATION. A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY OF UMATILLA.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF UMATILLA INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE CITY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE CITY OF UMATILLA.



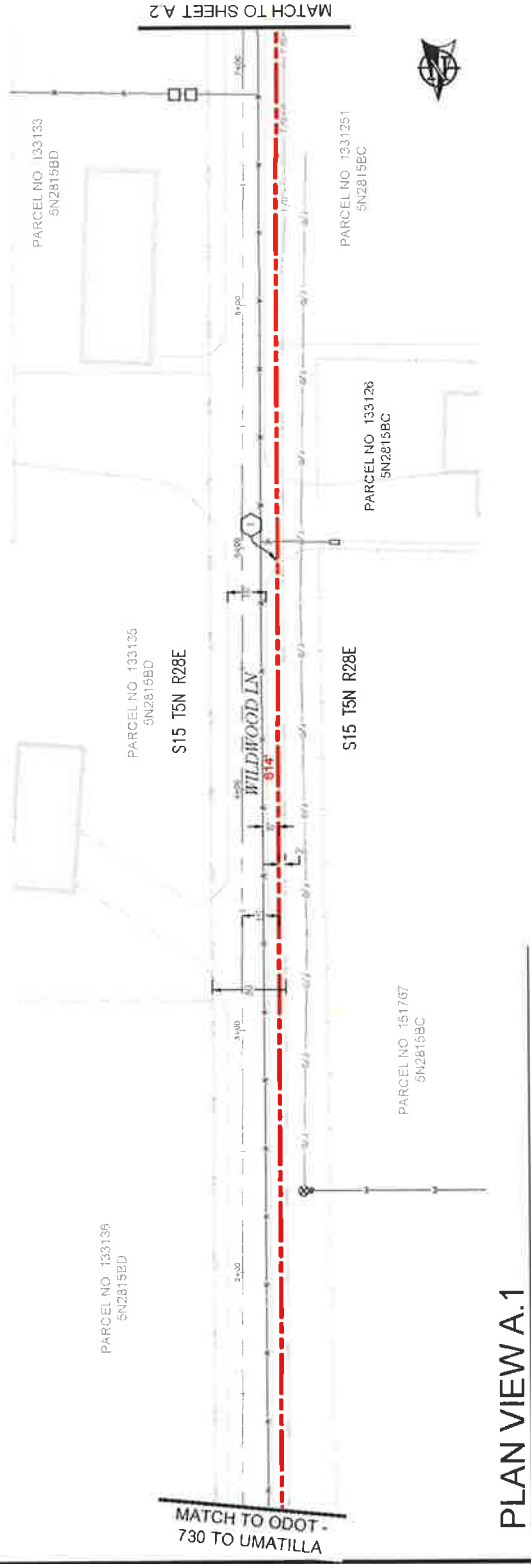
3	AS-BUILT						
2	REVISION # 1						
1	ORIGINAL	EM	EM	EM	EM	EM	EM
NO	DATE	ENGINEER	DRAWN	DRAWN	DRAWN	DRAWN	COMMENT
 							
ZAYO/TELECOM - UMATILLA, OREGON PROJECT NO. 2024050001 - UMATILLA, OREGON PROJECT NAME: UMATILLA, OREGON CONTRACTOR: MGC TECHNICAL CONSULTING, INC. UMATILLA, OREGON DATE: 05/20/2024							
UMATILLA, OREGON SHEET 1 OF 1							

CONSTRUCTION NOTES

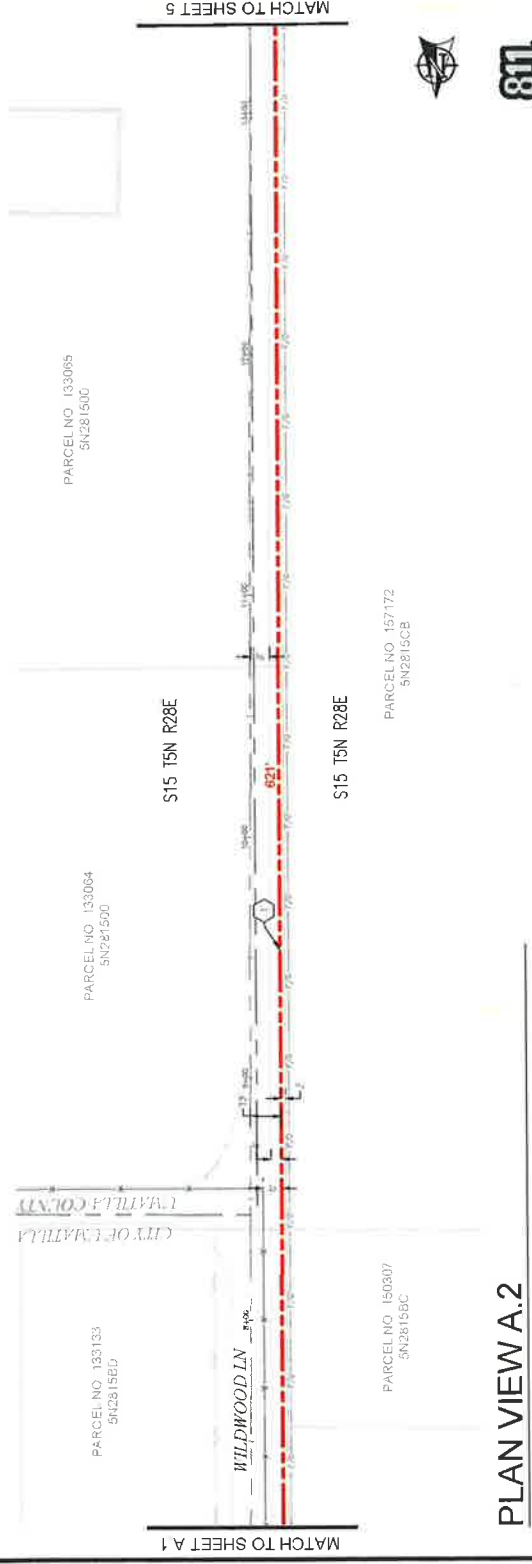
1. PROPOSED NEW 21" x 27" CONDUITS AND (1) 1" FIBER OPTIC CONDUIT TO BE INSTALLED THROUGH EXISTING CONDUIT BANKS. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING CONDUITS PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1" OF COMPACT GROWEL AND WIRE MESH ON THE FLOOR OF EACH WALL.



PLAN VIEW A.1



PLAN VIEW A.2

NO.	DATE	BY	CHK'D	APP'D	REVISION / COMMENT
1	3/7/15	DM	DM		ORIGINAL
2					AS-BUILT

zayo
 zayo.com

MGS
 MGS CONSULTING INC.

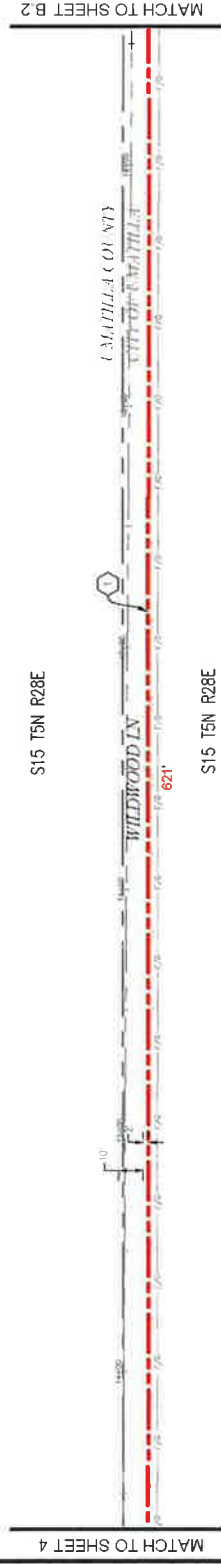
DATE: 03/07/2015
 PROJECT: 150307
 PROJECT NUMBER: 150307
 LOCATION: 150307
 LOCATION: UMATILLA, OR 97142
 DRAWING NUMBER: 150307-001
 SHEET: 1 OF 3

811
 Know what's below.
 Call before you dig.

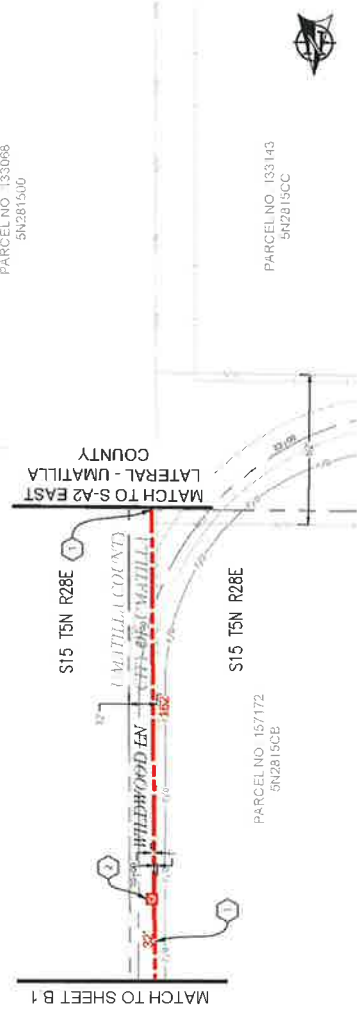
SCALE: 1"=50'

- CONSTRUCTION NOTES**
- ① PROPOSED NEW (2) 2" CONDUITS AND (1) 1" CONDUIT. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO NOTIFY UTILITIES PRIOR TO CONSTRUCTION.
 - ② PROPOSED PLACE (1) 30" X 48" BULK SERIALS / VAULT OR 606 (A) VAULT COIL 100' OF FIBER THROUGH SITE VAULT DETAILS ON SHEET 1.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'
 AND 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW B.1



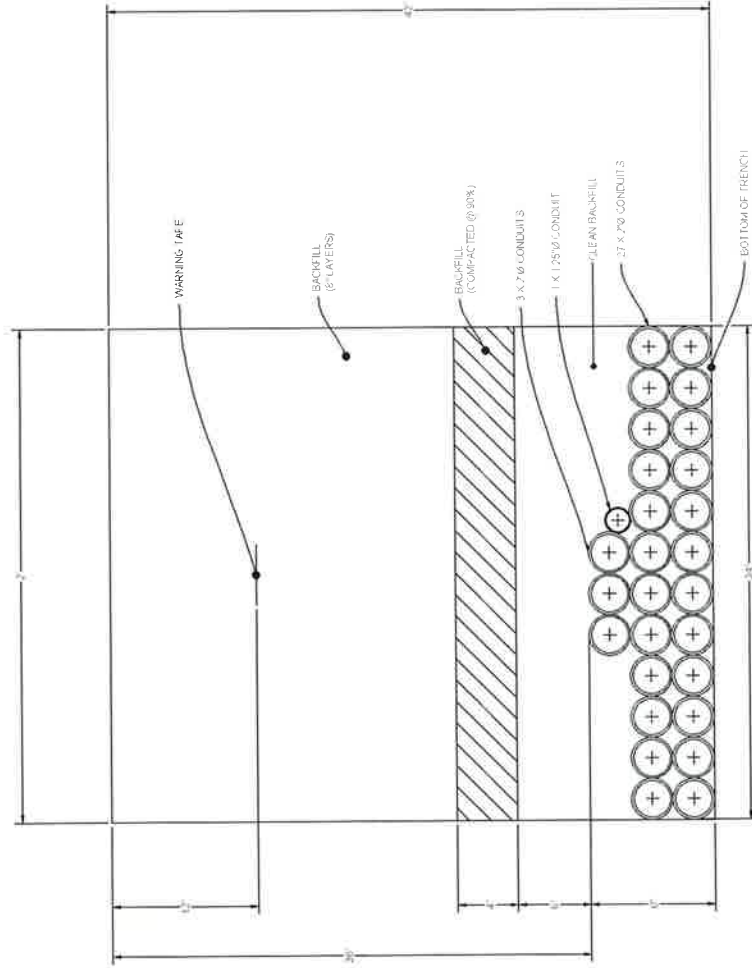
PLAN VIEW B.2

NO.	DATE	ENGINEER	DRAWN	REVISION # 1	AS-BUILT
1	3/7/15	BB	DM	ORIGINAL	
2					

zayo
 ZAYO ENGINEER - DATA SERVICES
 ENGINEERS FROM DATA SERVICES CONSULTING INC.
 10000 W. CENTRAL EXPRESSWAY, SUITE 100
 LOCATION - UMATILLA, OR 97143
 PROJECT NAME - ZAYO FIBER OPTIC NETWORK RAY FIBER
 CABLE UMATILLA LATERAL
 SHEET NO. 100

811
 Message Before
 Call before you dig
 SCALE: 1" = 50'

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1
SCALE: NTS

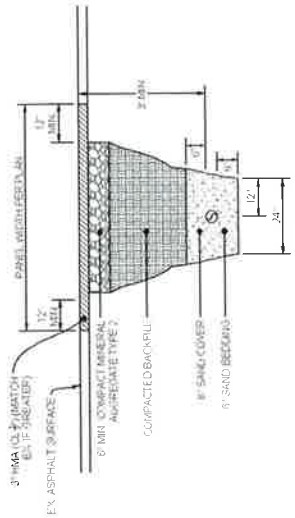


Have an 811 call before you dig

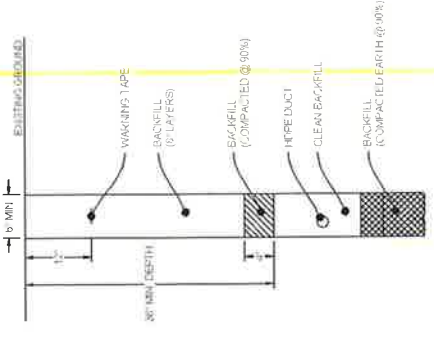
NO.	DATE	BY	CHK'D BY	AS-BUILT REVISION # 1
1	3/7/18	BB	DM	ORIGINAL
2				COMMIT

ZAYO	MGC
PROJECT NUMBER: 17252300000000000000	PROJECT NUMBER: 17252300000000000000
LOCATION: 17252300000000000000	LOCATION: 17252300000000000000
UNPROFITABLE: 17252300000000000000	UNPROFITABLE: 17252300000000000000
DATE: 17252300000000000000	DATE: 17252300000000000000
DESIGNER: 17252300000000000000	DESIGNER: 17252300000000000000
CHECKER: 17252300000000000000	CHECKER: 17252300000000000000
DATE: 17252300000000000000	DATE: 17252300000000000000
SCALE: 17252300000000000000	SCALE: 17252300000000000000
SHEET: 17252300000000000000	SHEET: 17252300000000000000

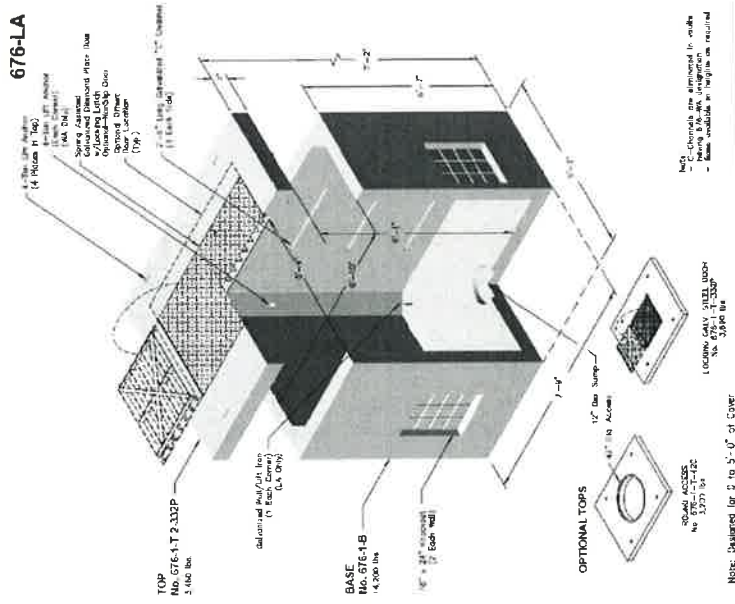
UNDERGROUND TYPICALS



TYPICAL PATCH TRENCH DETAIL
SCALE: NTS



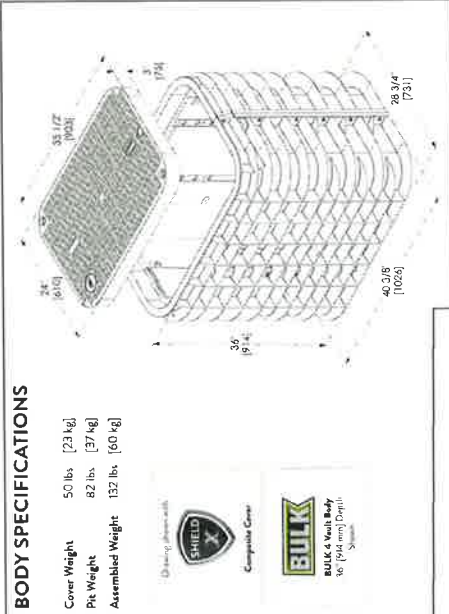
TYPICAL TRENCH IN SOIL DETAIL
SCALE: NTS



676-LA
5 X 7 X 6
POWER WATER GAS

676-LA
File Name: 039-016 1 LA
List Date: 2016
Product Represent: www.mts.com

TYPICAL 676LA VAULT
SCALE: NTS



BODY SPECIFICATIONS

Cover Weight 50 lbs [23 kg]
Pit Weight 82 lbs [37 kg]
Assembled Weight 132 lbs [60 kg]



TYPICAL BULK - SERIES 4 VAULT DETAIL
SCALE: NTS



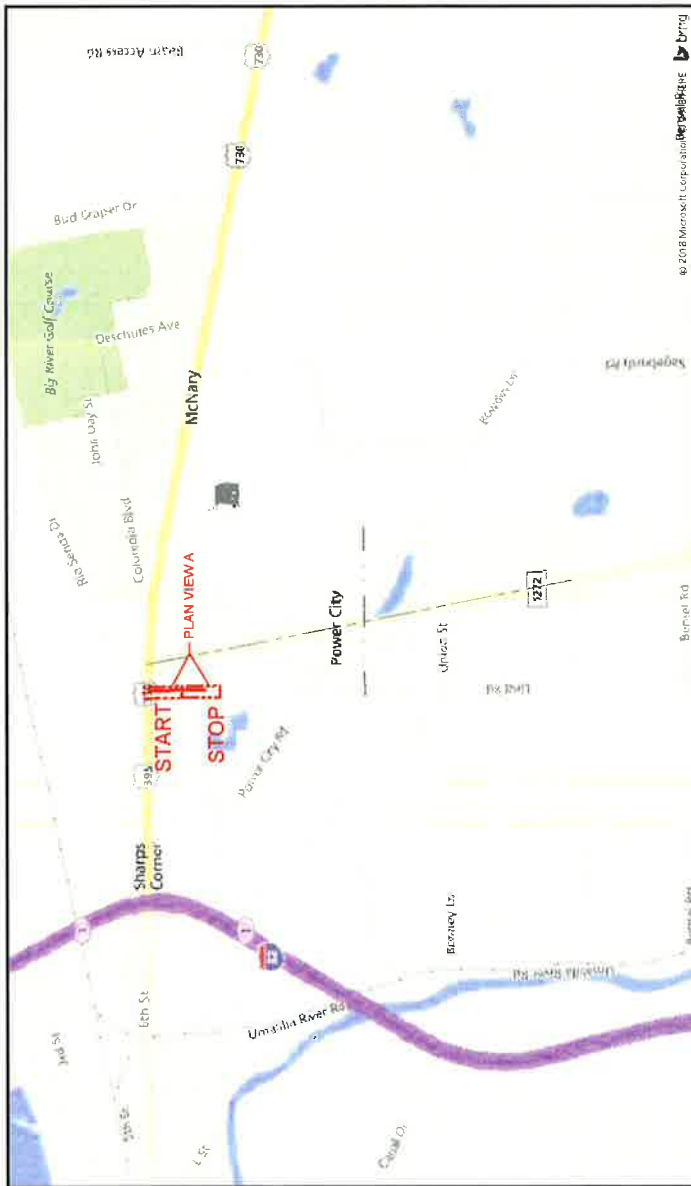
NO.	DATE	ENGINEER	DRAWN	REVISION #	COMMENT
1	3/7/18	UB	DM	1	ORIGINAL

Zayo
COMMUNICATIONS

PROJECT: 1723 MARKET LANE
LOCATION: 1723 MARKET LANE
UNIVERSITY MICROFILMS INTERNATIONAL
ANN ARBOR, MI 48106-1500
PROJECT NO: 1723 MARKET LANE
SHEET NO: 1723 MARKET LANE

MGE
MATERIALS GROUP

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - WEST LATERAL - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	895 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	895 FT.

CONTACTS

ZAYO CONTACT
 DAN BARCOMB
 22851 68RD AVE S
 KENT, WA 98032
 C 509 727 3345
 DAN.BARCOMB@ZAYO.COM

BRYSON BAILY
 MGC TECHNICAL CONSULTING INC
 6244 185TH AVE NE
 REDMOND, WA 98052
 C 206 789 3001
 BRYSON@MGCCTECHNICAL.COM

SHEET INDEX

1. COVER SHEET / SITE LOCATION
2. LEGEND
3. GENERAL NOTES
4. PLAN VIEW A
5. DUCT SYSTEM DETAILS
6. UNDERGROUND TYPICALS

SCOPE OF WORK
 PLACE CONDUIT AND VAULTS SOUTH ON THE EAST SIDE OF LIND RD FROM THE SOUTHEAST CORNER OF HWY 730 AND LIND RD TO 5TH ST. CONDUIT TO UMATILLA PLANS. PULL FIBER CABLE THROUGHOUT.



SCALE: 1" = 2000'

NO	DATE	ENGINEER	DRW/ITER	CH	REVISION # 1	AS-BUILT
1	02/26/18	BB	CH		ORIGINAL	



PROJECT NAME	BOARDMAN TO UMATILLA - CITY OF UMATILLA - SEG A2 - WEST LATERAL - BULK CONDUIT
PROJECT NUMBER	UMATILLA_06_37883
LOCATION	UMATILLA, OR 97882
DATE	02/26/18
SCALE	1" = 2000'
SHEET	1 OF 6

CONFIDENTIAL PROPRIETARY

GENERAL NOTES

GENERAL NOTES:

The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in this area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF UMATILLA REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC ROW OR EASEMENTS MAY REQUIRE INSPECTED AND APPROVED BY THE CITY OF UMATILLA INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE CITY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS. PRIOR TO INSTALLATION A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY OF UMATILLA.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF UMATILLA INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL ESC MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE CITY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, FARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE CITY OF UMATILLA.



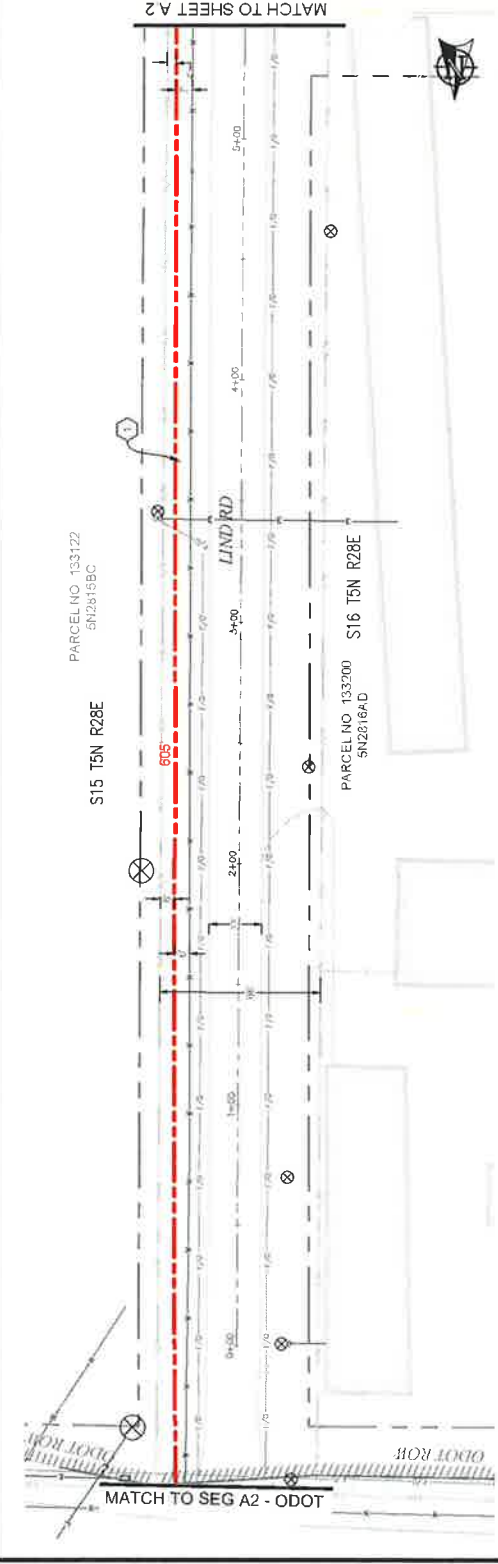
Know what's below.
Call before you dig

NO.	DATE	BY	CHK	REVISION #	COMMENT
1	07/20/18	EB	CH	ORIGINAL	
2		DWYNNE	DWYNER	DIAMETER	

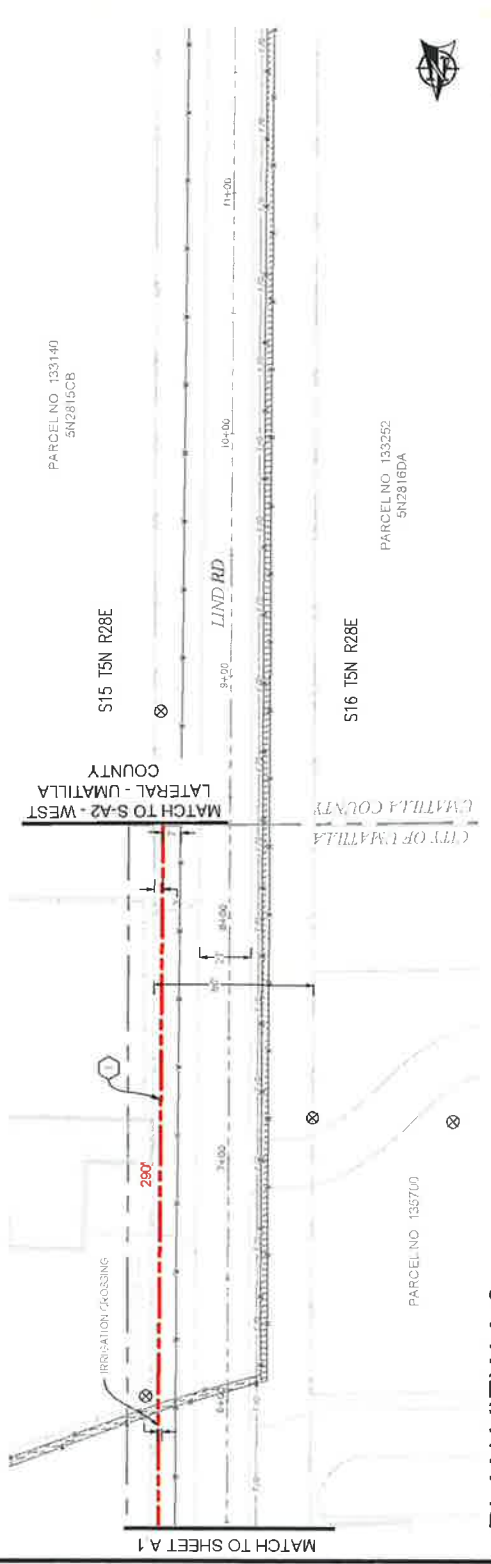
zayo group		MGC TECHNICAL CONSULTING, INC.
PROJECT: UMATILLA - RURAL COMMUNITY DEVELOPMENT PROJECT		
DRAWING NO: UMATILLA - RURAL COMMUNITY DEVELOPMENT PROJECT - CONSTRUCTION - UTILITY		
DRAWING TITLE: UMATILLA - RURAL COMMUNITY DEVELOPMENT PROJECT - CONSTRUCTION - UTILITY		
LOCATION: ALMAS WINTER LANE, UMATILLA, OR 97882		
DESIGNER: JAYO GROUP		
CHECKER: JAYO GROUP		
DATE: 07/20/18		

CONSTRUCTION NOTES
 1 PROPOSED NEW 27.5' CONDUITS AND (1) 1
 1/4" CONDUITS. PULL FIBER CABLE THROUGH REPAIR
 SURFACE PER LOCAL JURISDICTION STANDARDS.
 CONTRACTOR TO PATCH HOLES PRIOR TO
 CONSTRUCTION.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW A.1



PLAN VIEW A.2

NO.	DATE	ENGINEER	CH	DRWING	COMMENT
1	02/28/18	BB	CH		ORIGINAL
2					AS-BUILT
3					REVISION # 1

zayo
 zayo.com

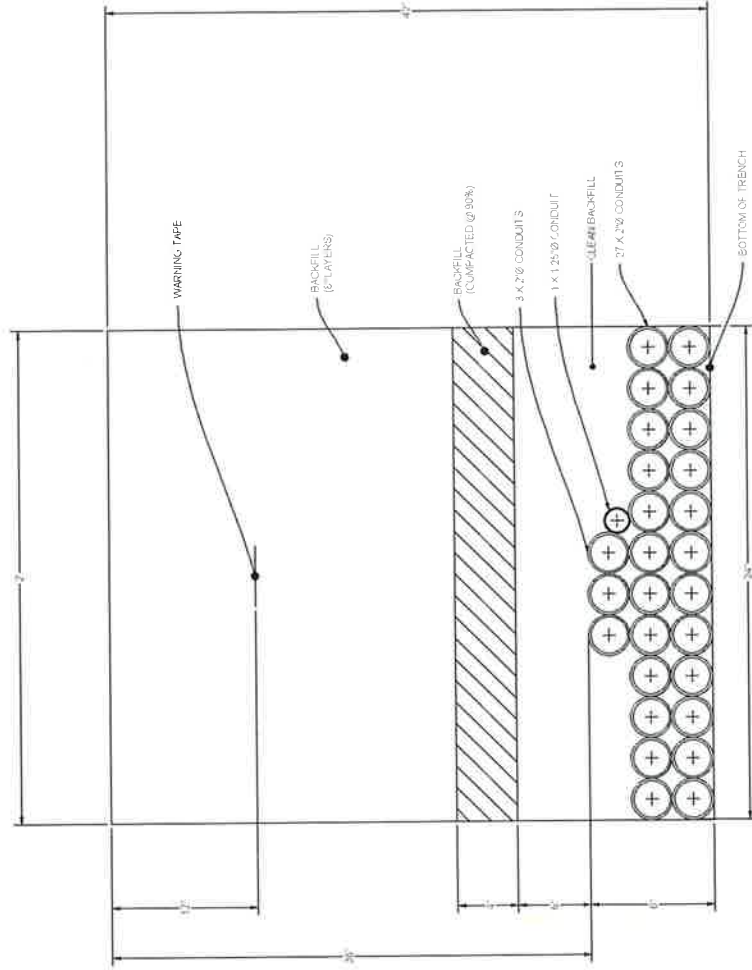
MGC
 MGC CONSULTING GROUP

PROJECT: FIBER OPTIC CONDUIT INSTALLATION
 LOCATION: UMATILLA COUNTY, OREGON
 DRAWING: UMATILLA, OR 21802
 SCALE: 1" = 200'

811
 Keep it Right,
 Call before you dig.

SCALE: 1" = 200'

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1

SCALE: NTS



For more details
Call us today @ 811

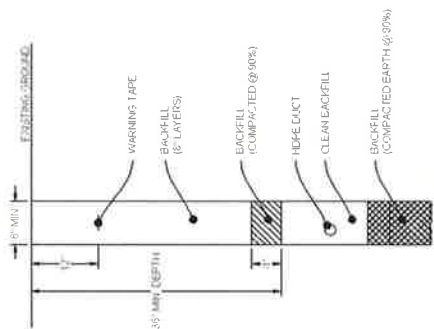
NO.	DATE	ENGINEER	DRAWER	REVISION #	AS-BUILT
1	02/28/18	BB	CH	1	ORIGINAL
2					COMMENT



ZAYO
COMMUNICATIONS
10000 W. CENTRAL EXPRESSWAY
SUITE 1000
DALLAS, TEXAS 75243
TEL: 972.342.2000
WWW.ZAYO.COM

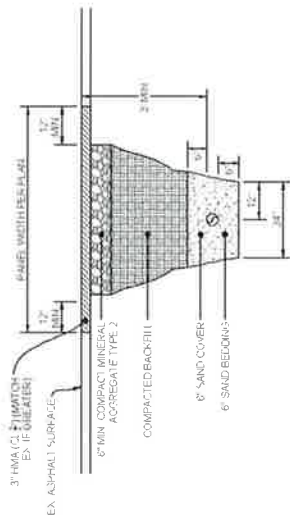
MGS
MATERIALS GROUP
10000 W. CENTRAL EXPRESSWAY
SUITE 1000
DALLAS, TEXAS 75243
TEL: 972.342.2000
WWW.MGS.COM

UNDERGROUND TYPICALS



TYPICAL TRENCH IN SOIL DETAIL

SCALE NTS



TYPICAL PATCH TRENCH DETAIL

SCALE NTS



Have a meter? Below
Call before you dig

NO.	DATE	BY	CHK	AC-BUILT
1	02/20/16	ENGINER	DRWTR	REVISION # 1
2				ORIGINAL
3				COMMENT

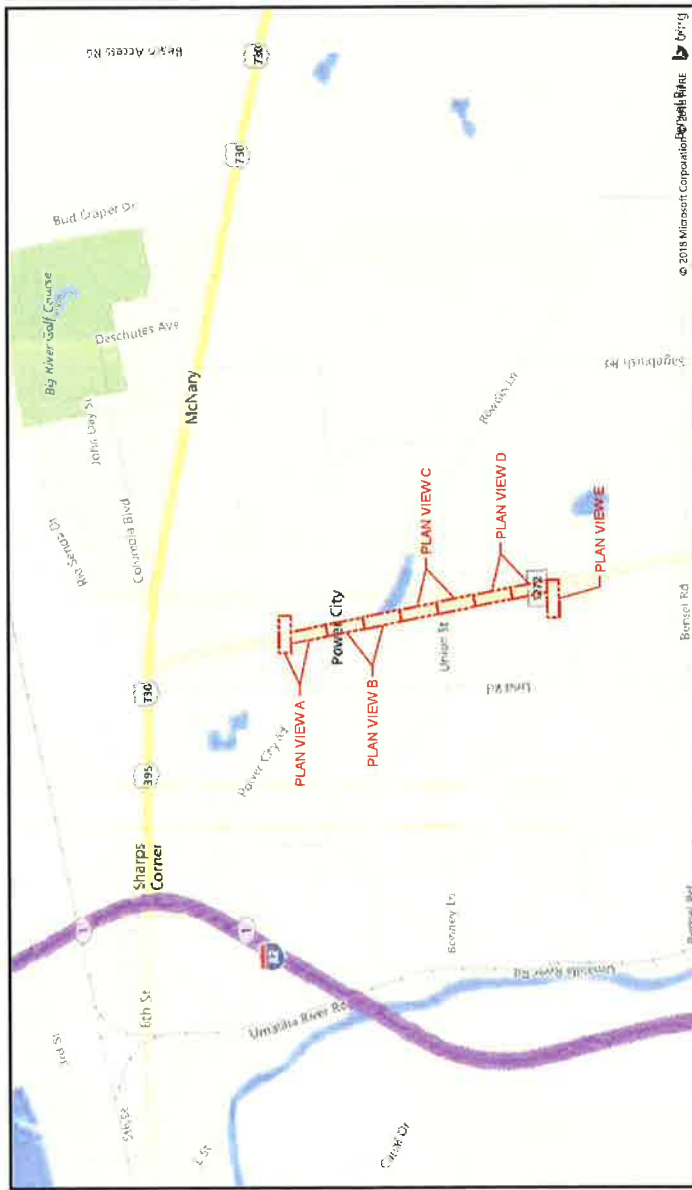


NO.	DATE	BY	CHK	AC-BUILT
1	02/20/16	ENGINER	DRWTR	REVISION # 1
2				ORIGINAL
3				COMMENT



ZAYO ENGINEER - DATED: 02-20-16
 PROJECT: 16050 - 16050 - 16050 - 16050 - 16050 - 16050
 LOCATION: 16050 - 16050 - 16050 - 16050 - 16050 - 16050
 DRAWING TITLE: TYPICAL TRENCH IN SOIL DETAIL
 SCALE: 1" = 1'-0"

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - ODOT 395 - SEG A2 - EAST LATERAL - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	4,569 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	4,569 FT.

CONTACTS

ZAYO CONTACT
 DAN BARCOMB
 22651 83RD AVE S
 KENT WA 98032
 C 509 727 3345
 DANBARCOMB@ZAYO.COM

BRYSON BAILY
 MGC TECHNICAL CONSULTING, INC.
 6244 185TH AVE NE
 REDMOND WA 98052
 C 206 799 3001
 BRYSON@MGCTECHNICAL.COM

- ### SHEET INDEX
1. COVER SHEET / SITE LOCATION
 2. LEGEND
 3. GENERAL NOTES
 - 4-8. PLAN VIEWS A - E
 9. DUCT SYSTEM DETAILS
 10. UNDERGROUND TYPICALS

SCOPE OF WORK

BORE AND PLACE PROPOSED CONDUIT AND VAULTS FROM THE SOUTHEAST CORNER OF HWY 395 AND WILDWOOD INVESTMENTS TO THE NORTHWEST CORNER OF HWY 395 AND ACCESS DIRT RD. PULL FIBER CABLE THROUGHOUT

NO.	DATE	DESIGNER	CHECKER	REVISION #	REVISION # 1
1	3/2/18	BB	CH	ORIGINAL	

zayo
 Fiber. Everywhere.

MGC
 MGC TECHNICAL CONSULTING, INC.
 6244 185TH AVE NE
 REDMOND, WA 98052

ZAYO ENGINEER: DAN BARCOMB
 BRYSON BAILY
 MGC ENGINEER: DAN BARCOMB
 BRYSON BAILY
 MGC PROJECT MANAGER: JEFFREY J. HARRIS
 LOCATION: UMATILLA, OR 97882
 DRAWING NAME: BOARDMAN TO UMATILLA - BULK DUCT SYSTEM
 DRAWING DATE: 03/02/2018
 DRAWING SCALE: 1" = 2000'

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 2000'

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEAM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BIP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EDP	EDGE OF PAVEMENT
EDTW	EDGE OF TRAVEL WAY
FOC	FACE OF CURB
F/O	FIBER OPTIC
HDP	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RGS	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA	STATION
STM	STEAM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING
	RISER - PROPOSED
	CATCH BASIN/INLET (RECTANGULAR)
	CATCH BASIN/INLET (ROUND)
	FIRE HYDRANT
	WATER/GAS VALVE
	LIGHT POST
	STREET LIGHT
	TRAFFIC LIGHT ARM
	TREE
	CULVERT
	WING WALL
	BRIDGE
	STREET SIGN
	ADA RAMP
	UTILITY POLE - EXISTING
	UTILITY POLE - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	HANDHOLE - PROPOSED (SIZE MAY VARY)
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	PEDESTAL - PROPOSED (SIZE MAY VARY)
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	WET UTILITY MANHOLE - PROPOSED (SIZE AND UTILITY TYPE MAY VARY)
	BORE PIT - PROPOSED (SIZE MAY VARY)
	UTILITY PATHOLE
	TRANSMISSION/DISTRIBUTION POLE
	TRANSMISSION POLE
	DISTRIBUTION POLE
	GROUND/BOND
	AERIAL STORAGE - EXISTING
	AERIAL STORAGE - PROPOSED
	VAULT/BUILDING STORAGE - EXISTING
	VAULT/BUILDING STORAGE - PROPOSED
	POLE ANCHOR/DOWN GUY - EXISTING
	POLE ANCHOR/DOWN GUY - PROPOSED
	DOWN GUY TO EXISTING ANCHOR - PROPOSED
	SPLICE POINT - EXISTING
	SPLICE POINT - PROPOSED
	TERMINATION - EXISTING
	TERMINATION - PROPOSED
	PULLBOX - EXISTING
	PULLBOX - PROPOSED
	CONSTRUCTION NOTE / RESTORATION CALLOUT
	PHOTO-MARKER
	NORTH ARROW

INFORMATION TABLES

UTILITY POLE INFORMATION TABLE (NUMBER OF ATTACHMENTS MAY VARY)		
POLE NUMBER	EXISTING UTILITY	PROPOSED ATTACH
#F	IN/	OUT/
#F	IN/	TAIL/
#F	TAIL/	OUT/

HATCH PATTERNS

	CONCRETE SIDEWALK
	GRASS/VEGETATION
	GRAVEL
	WATER



Know what's below.
Call before you dig.

AS-BUILT	REVISION # 1		
DATE	BY	CHK	DATE
3/22/16	DD	CH	DD
NO.	ENGINEER	DRAWER	COMMENT
zayo PROFESSOR			
MGC MANAGEMENT CONSULTANTS			
ZAYO ENGINEERS - LEAD ENGINEER			
PROJECT ENGINEER - MGC PROFESSIONAL CONSULTING, INC.			
PROJECT NUMBER			
LOCATION: 42343 SAUNGER LAKE, UMATILLA, OR 97162			
DRAWING TITLE: ZAYO TELECOM MANHOLE/VAULT/POLE/STRAND			
DRAWING NUMBER: 16-000000-000000-000000			
SHEET # 2 OF 10			

GENERAL NOTES

GENERAL NOTES:
 The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARD SPECIFICATIONS SET FORTH IN THE ODOT REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE STANDARD SPECIFICATIONS SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE ODOT INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE ODOT INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE ODOT AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION, AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE ODOT, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS PRIOR TO INSTALLATION. A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH ODOT.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE ODOT INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE ODOT ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE ODOT.



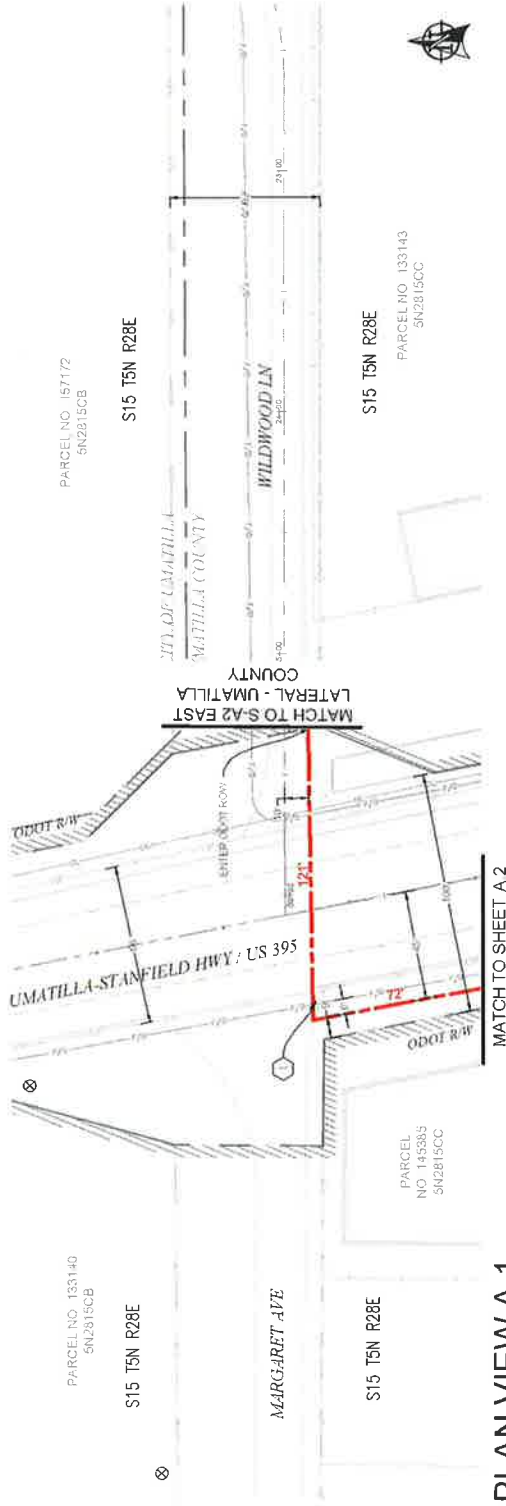
NO.	DATE	BY	CHK	AS-BUILT REVISION # 1
1	3/27/18	BO	CH	ORIGINAL
2		ENGINEER	DRAWN	COMMENT

zayo
 zayo.com
 1-800-441-4200

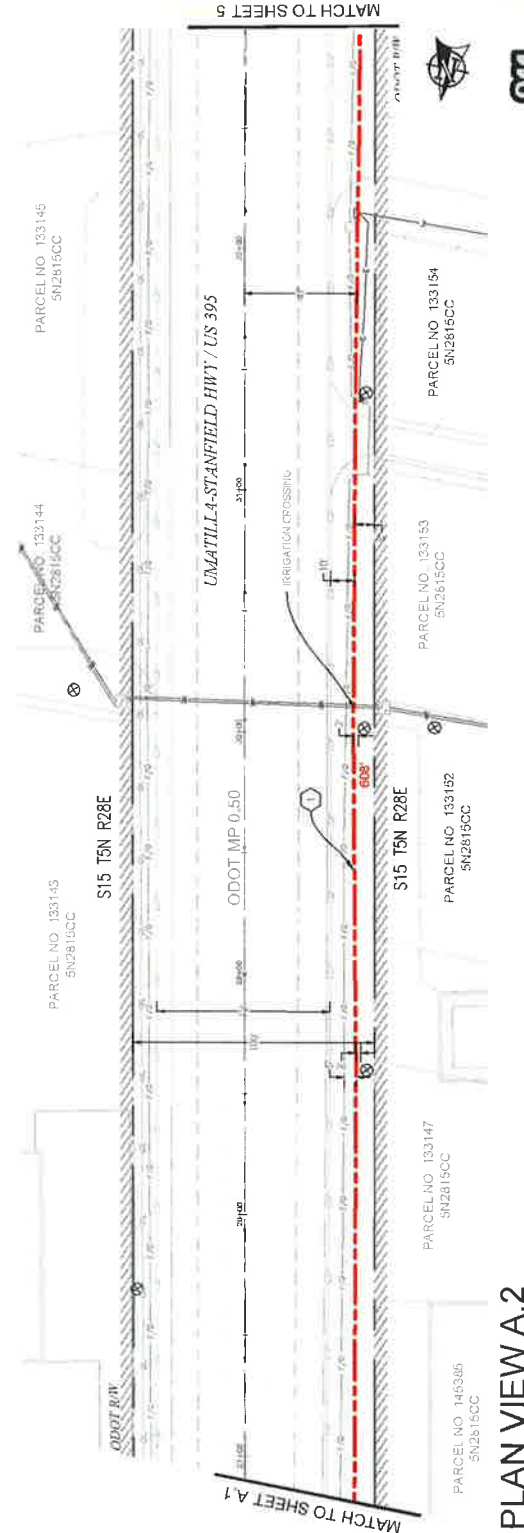
MGC
 MGC TECHNICAL CONSULTING, INC.
 1000 N. UNIVERSITY AVENUE
 SUITE 100
 TAMPA, FL 33606
 TEL: 813-288-1111
 FAX: 813-288-1112

CONSTRUCTION NOTES
 ① PROPOSED BORE (207' CONCRETE AND 111'
 4' CONDUITS, PULL FIBER CABLE THROUGH REPAIR
 SURFACE PER LOCAL JURISDICTION STANDARDS
 CONTRACTOR TO NOTIFY UTILITIES PRIOR TO
 CONSTRUCTION

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW A.1



PLAN VIEW A.2

NO.	DATE	ENGINEER	CH.	BY	DATE	REVISION #	REVISION	COMMENTS
1	3/27/18							
2								

zayo
 zayo.com

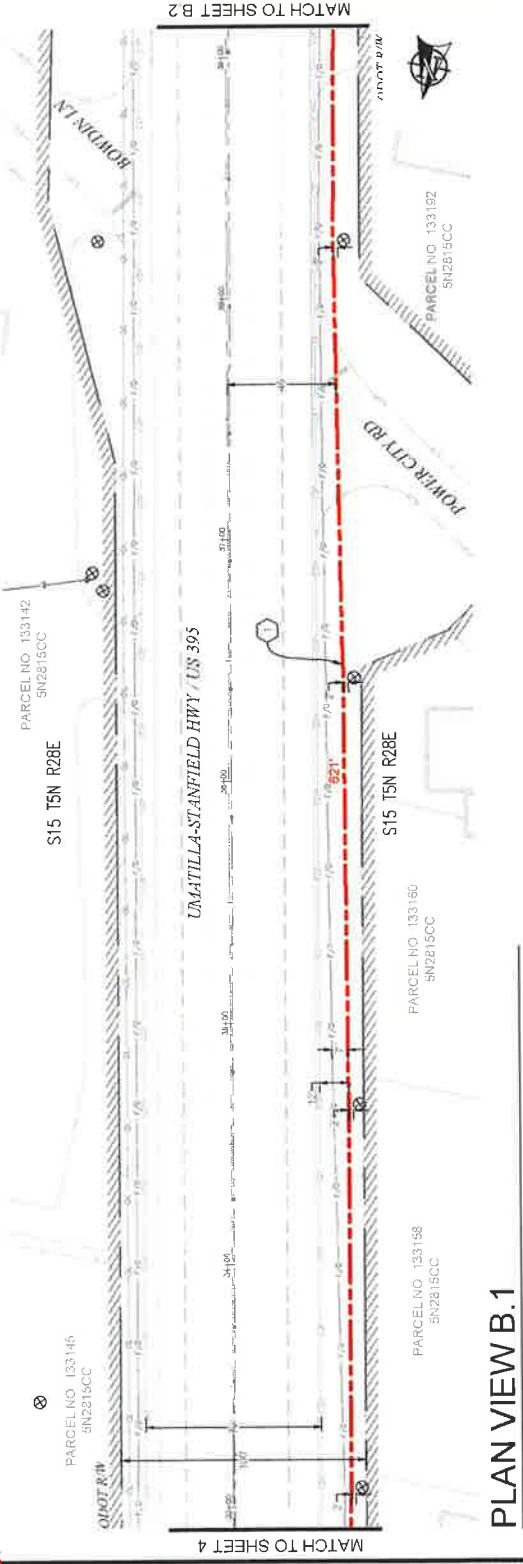
MSC
 MASONRY SERVICE COMPANY

811
 Call before you dig

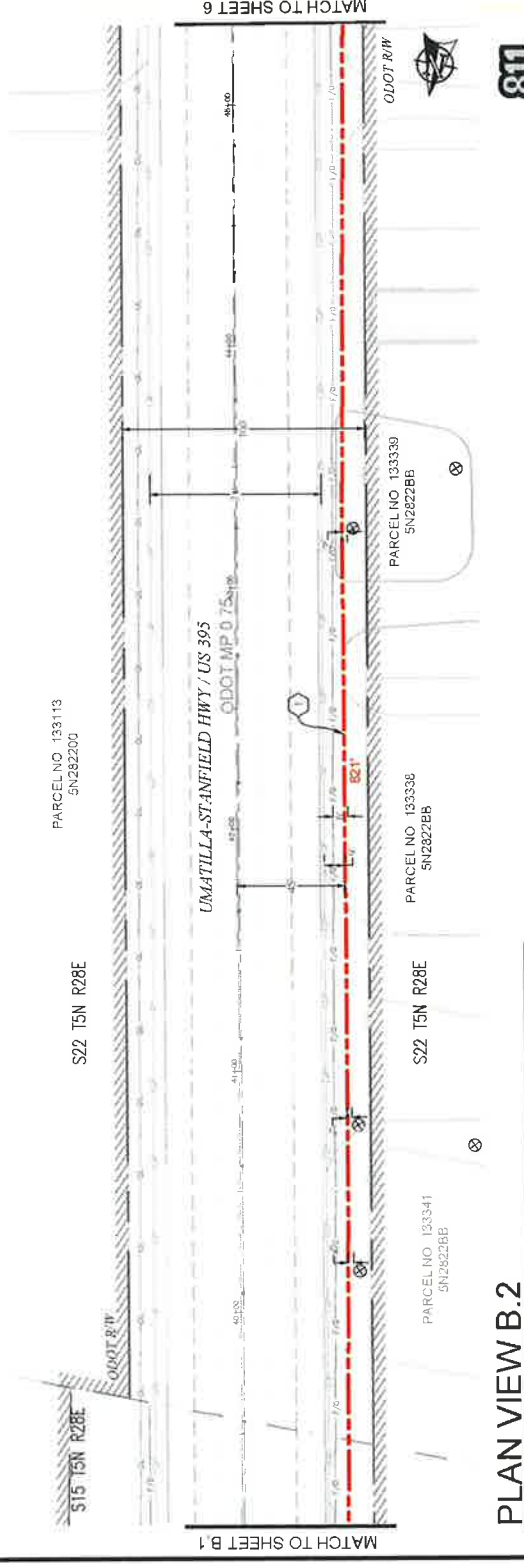
SCALE: 1"=50'

CONSTRUCTION NOTES
 1) PROPOSED BORF (2) 7' CONDUITS AND (1) 11" CONDUIT FOR UTILITIES TO BE REPAIRED OR REPLACED TO MEET ALL STANDARDS. CONSTRUCTION TO PROTECT UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW B.1



PLAN VIEW B.2

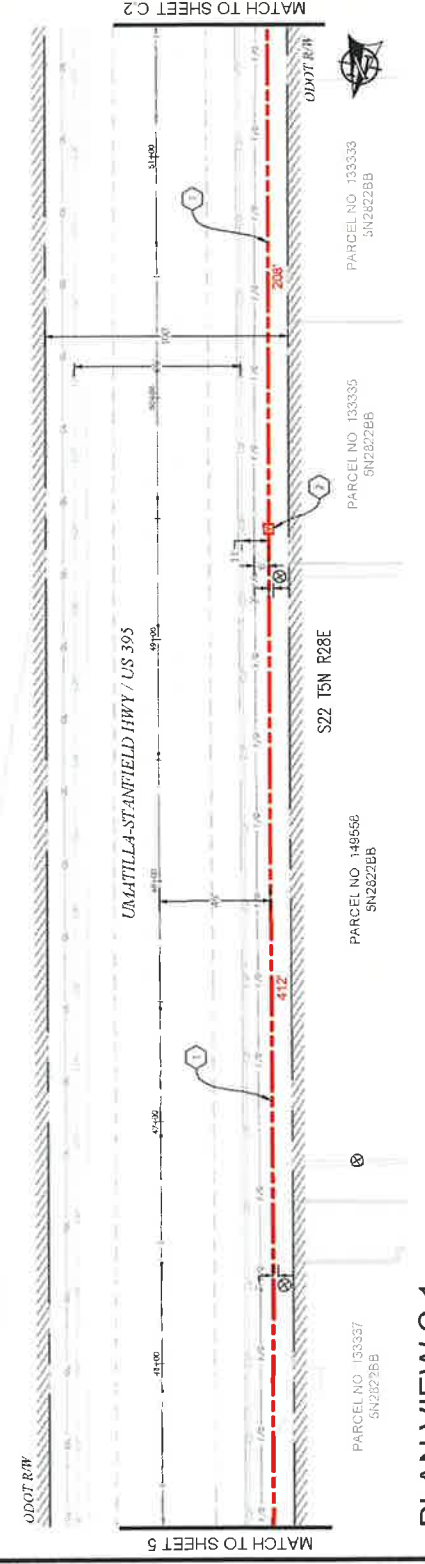
NO.	DATE	BY	CHK	COMMENT
1	3/27/18	DB	CH	ORIGINAL
2		DB		AS-BUILT

zayo
 MGS
 CONSULTING ENGINEERS
 1000 N. W. 11th St., Suite 200
 Tallahassee, FL 32310
 PHONE: (904) 875-1111
 FAX: (904) 875-1112
 WWW.ZAYOENGINEERS.COM
 PROJECT NUMBER: 18-0000000000-0000000000
 LOCATION: UMATILLA STANFIELD HWY / US 395
 DRAWING TITLE: UMATILLA STANFIELD HWY / US 395
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 DATE: 3/27/18
 SHEET 3 OF 13

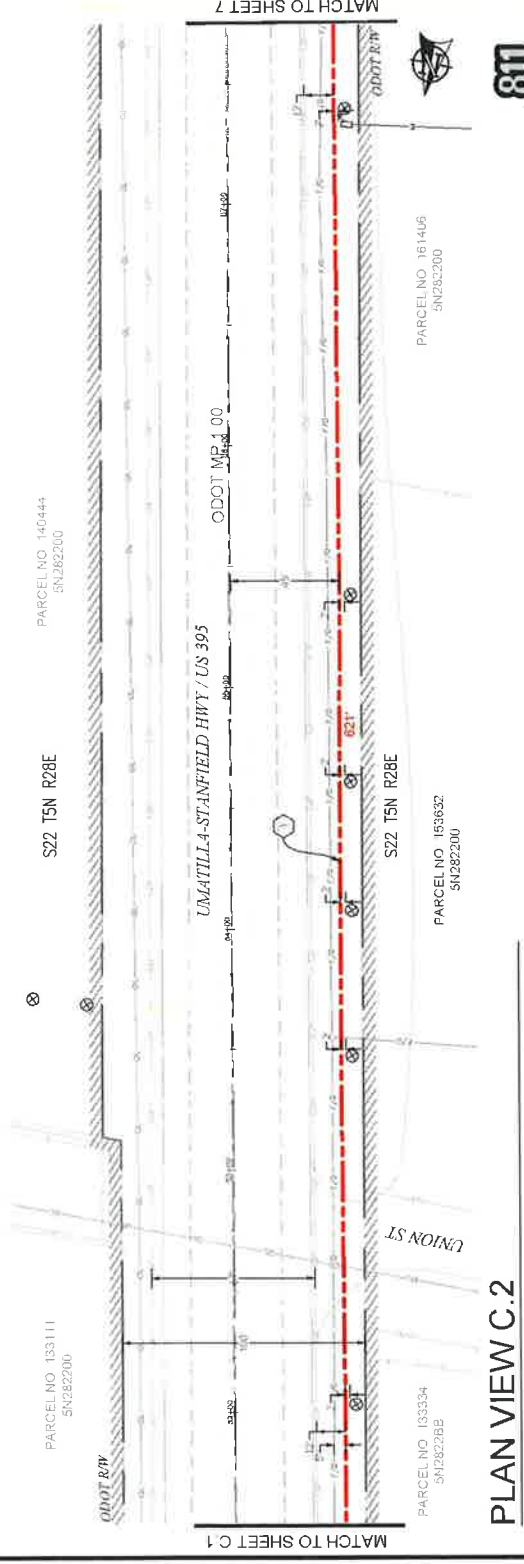
811
 Call before you dig.
 1-800-4-A-DIG
 SCALE: 1"=500'
 MATCH TO SHEET 4
 MATCH TO SHEET 6

- 1 PROPOSED BORE (217") CONDUITS AND (1) 3/4" CONDUITS PULL FIBER CABLE THROUGH. REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.
- 2 PROPOSED PLACE (1) 30" X 48" BULK HEADS / VAULT OR 6/6 LA VAULT, COLL. 100' OF FIBER THROUGH. SEE VAULT DETAILS ON SHEET 10.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'
 ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW C.1



PLAN VIEW C.2

NO.	DATE	BY	CHK	DESIGNED	DRAWN	COMMENT
1	3/27/18	BB	CH			ORIGINAL
2						AS-BUILT

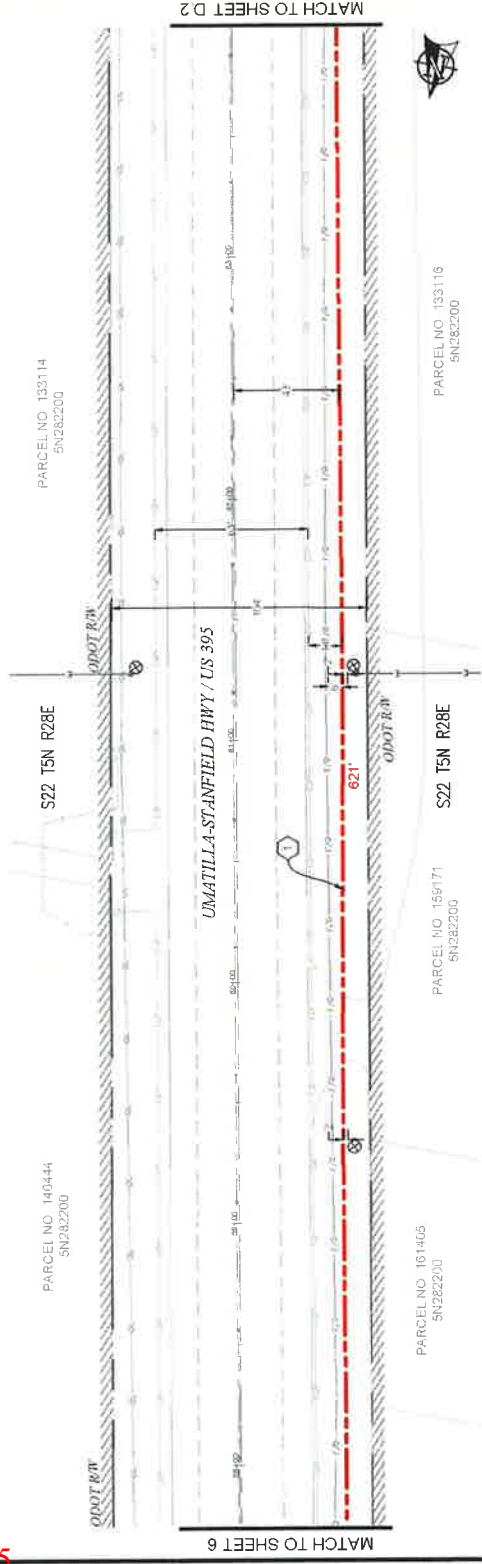
zayo
 Fiber. So. Easy.
 MGC
 MGC COMMUNICATIONS, INC.

ZAYO PROJECT #	DATE PREPARED	DATE PLOTTED
PROJECT NAME	PROJECT LOCATION	PROJECT NUMBER
LOCATION	DATE	PROJECT NUMBER
PROJECT NAME	PROJECT NUMBER	PROJECT NUMBER
PROJECT NUMBER	PROJECT NUMBER	PROJECT NUMBER

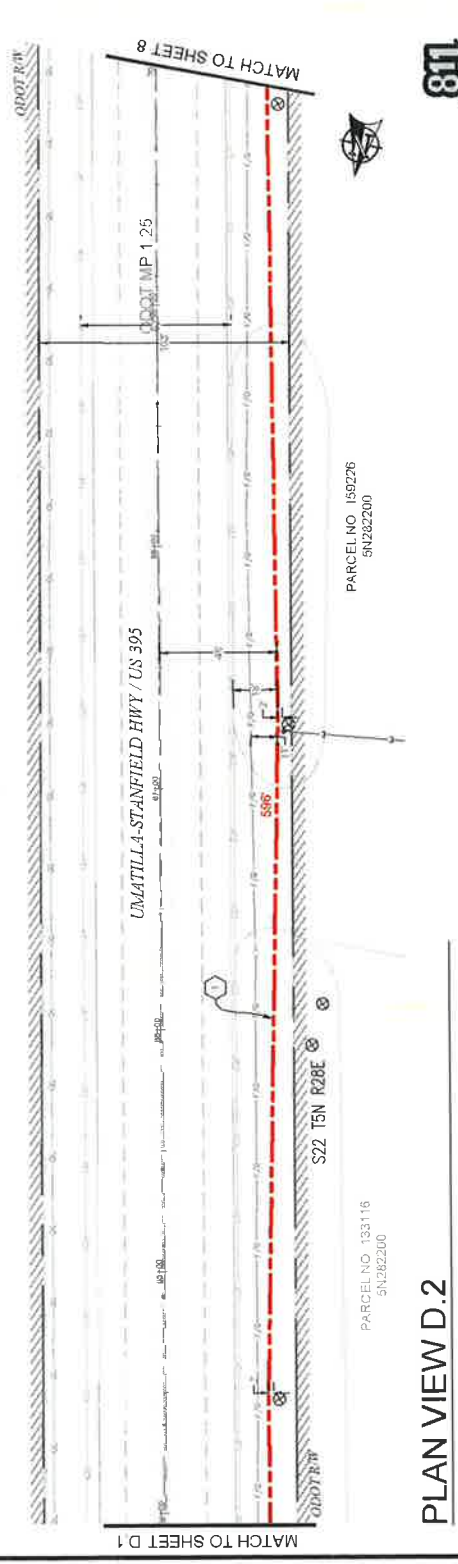
SCALE: 1" = 50'

CONSTRUCTION NOTES
 1. PROPOSED 60" P. CONCRETE AND 0.1%
 SLOPES FOR FIBER OPTIC CABLE THROUGH REPAIR
 SURFACE PER LOCAL CONSTRUCTION STANDARDS
 CONTRACTOR TO POPOUT UTILITIES PRIOR TO
 CONSTRUCTION

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 300'



PLAN VIEW D.1



PLAN VIEW D.2

811
 Know what's below.
 Call before you dig.
 1" = 30'

NO.	DATE	BY	CHK	COMMENTS
1				AS-BUILT
2				REVISION # 1
3				ORIGINAL

Zayo
 MGS
 MGN CONSULTING, INC.

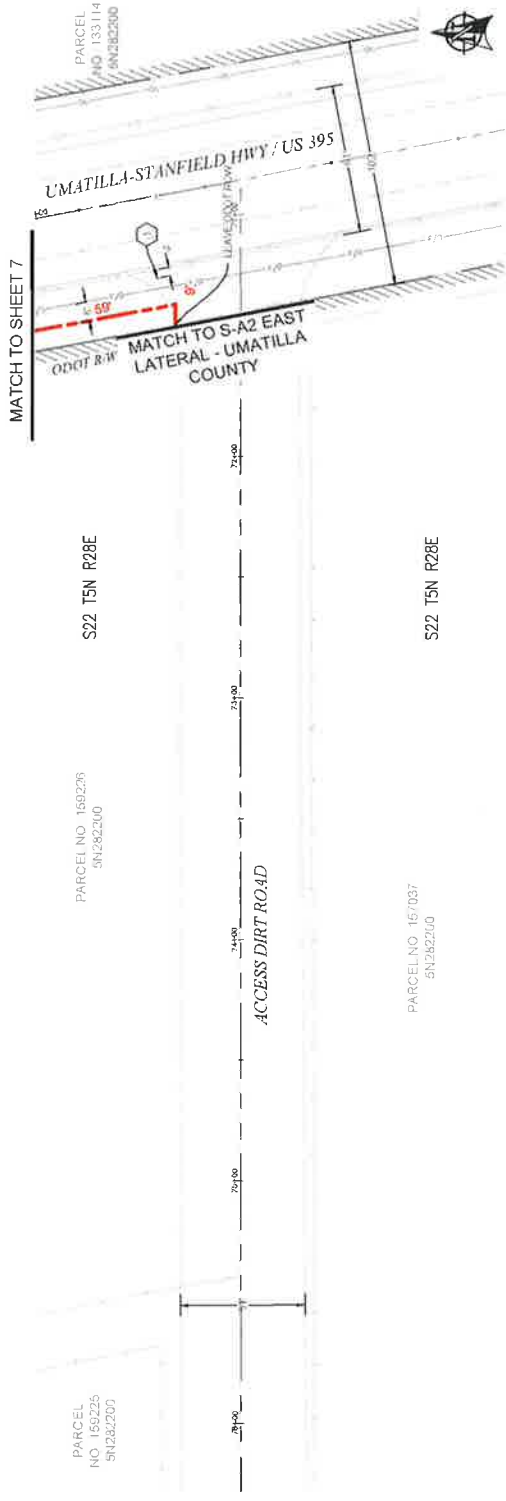
ZAYO EXPRESSES NO WARRANTIES OR REPRESENTATIONS FROM MGS TECHNICAL CONSULTING, INC.
 PROJECT NUMBER: 20200000000000000000
 LOCATION: UMATILLA, OREGON
 DRAWING TITLE: ZAYO FIBER OPTIC CABLE THROUGH REPAIR SURFACE
 UMATILLA, OR 97601
 SHEET 7 OF 12

CONSTRUCTION NOTES

1 PROPOSED BORE (27) 7" CONDUITS AND (1) 1" CONDUITS FULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PHOTOLOGUALLY PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW E.1

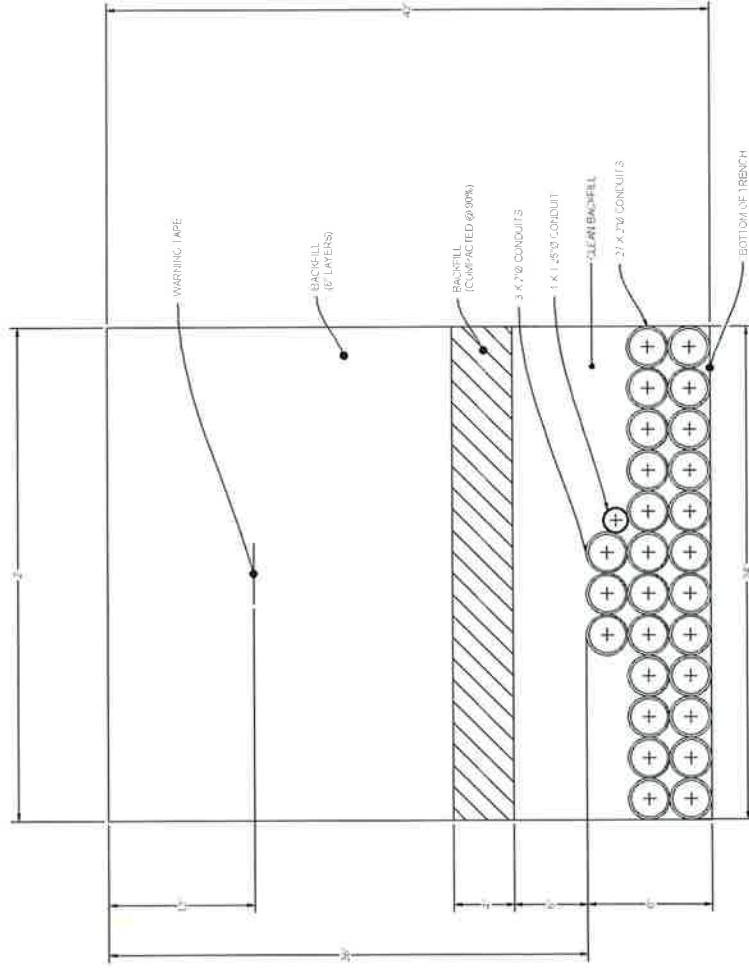
811
 Know what's below.
 Call before you dig.
 800-811-6111

NO.	DATE	ENGINEER	DRW.	CH.	REVISION #	COMMENT
1	3/27/18				1	ORIGINAL

zayo
 ZAYO ENGINEERING | DAN BARKER, P.E.
 ENGINEERING | 8000 NORTH TEXAS COOPER, TINSONE
 1000 WEST 13TH STREET, SUITE 100
 UMATILLA, OR 97142
 LICENSE NUMBER: 14384
 UMATILLA, OR 97142
 PHONE: 503.865.4444
 FAX: 503.865.4444

SCALE: 1" = 50'

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1
SCALE: NTS

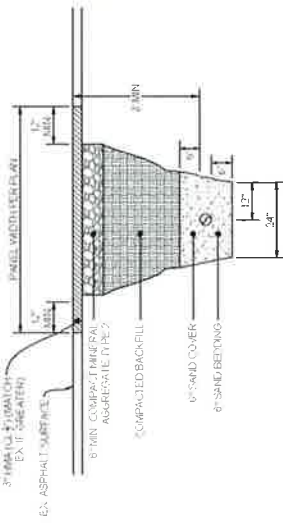


See also 811 below.
Call before you dig

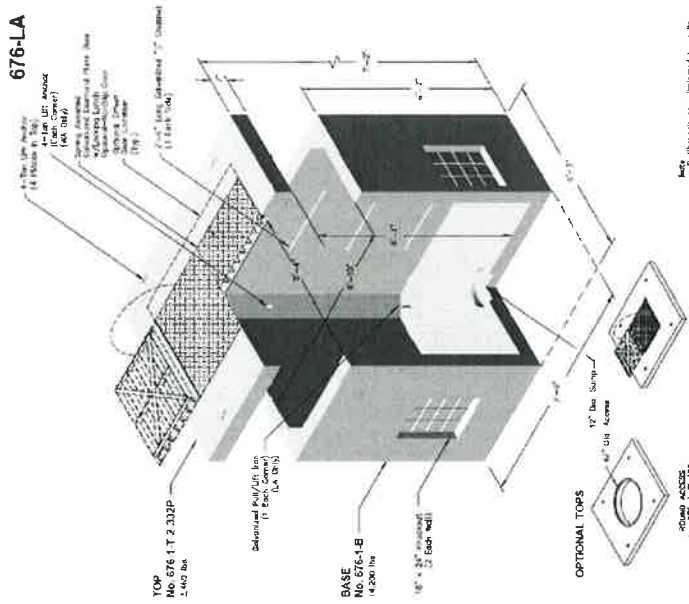
NO.	DATE	BY	CH	AS-BUILT
1	3/27/10	BB	CH	REVISION # 1
2				ORIGINAL
3				DOMINANT

zayo	MGE
zayo inc. 12500 W. CENTRAL EXPRESSWAY DENVER, CO 80231	MGE CONSULTING INC. 1000 W. 12TH AVENUE DENVER, CO 80202
PROJECT NAME: ZAYO DUCT BANK TRENCH DETAIL #1	LOCATION: 12500 CENTRAL EXPRESSWAY DENVER, CO 80231
PROJECT NO: ZAYO-DUCT-BANK-TRENCH-DET-001	DATE: 3/27/10
SHEET 1 OF 1	

UNDERGROUND TYPICALS



TYPICAL PATCH TRENCH DETAIL
SCALE NTS



Note: Always use the indicated fit-covers.
 - Always use the indicated fit-covers.
 - Always use the indicated fit-covers.

676-LA
5' x 7' x 6'
POWER WATER GAS

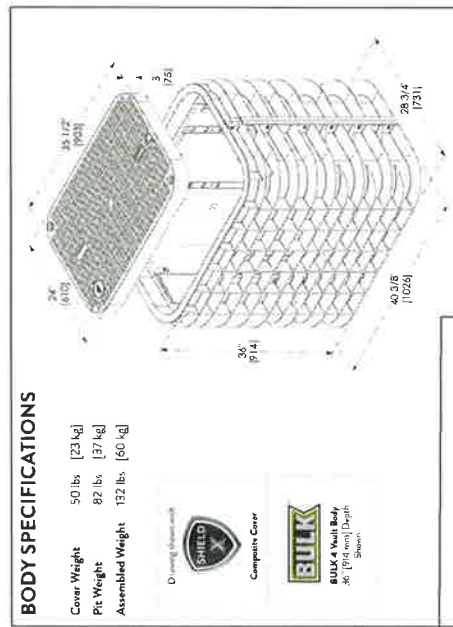
676-LA
Fit Name 03676/06/LA
Year Date 2010
Tel (503) 662-2944 Fax (503) 662-2945
idcastle.procast.com/walravenville

Note: Designed for 0 to 5'-0" of Cover

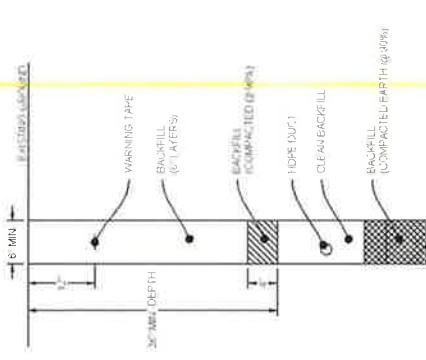
TYPICAL 676/LA VAULT
SCALE NTS

BODY SPECIFICATIONS

- Cover Weight 50 lbs [23 kg]
- Pit Weight 82 lbs [37 kg]
- Assembled Weight 132 lbs [60 kg]



TYPICAL BULK - SERIES 4 VAULT DETAIL
SCALE NTS



TYPICAL TRENCH IN SOIL DETAIL
SCALE NTS

811
Please call 811 before you dig.

NO.	DATE	ENGINEER	DRAWER	CH	REVISION #	COMMENT
1	3/2/15	BB	CH		1	ORIGINAL

ZAYO
CORPORATION
2000 NE 10TH AVE
PORTLAND, OR 97232
TEL: 503.251.8200

MGS
MECHANICAL & ELECTRICAL ENGINEERING
1000 NORTH AMARILLA CIRCLE
PORTLAND, OR 97227
TEL: 503.251.8200

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - UMATILLA COUNTY - SEG A2 - EAST LATERAL - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	2,434 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	2,434 FT.

CONTACTS

ZAYO CONTACT
 DAN BARCOMB
 22651 83RD AVE S
 KENT, WA 98032
 C. 509 727 3345
 DAN.BARCOMB@ZAYO.COM

BRYSON BAILY
 MGC TECHNICAL CONSULTING INC.
 6244 185TH AVE NE
 REDMOND, WA 98052
 C 206 739 3001
 BRYSON@MGCTECHNICAL.COM

SHEET INDEX

- 1 COVER SHEET / SITE LOCATION
- 2 LEGEND
- 3 GENERAL NOTES
- 4-7 PLAN VIEWS A-D
- 8 DUCT SYSTEM DETAILS
- 9 UNDERGROUND TYPICALS

SCOPE OF WORK:

PLACE CONDUIT AND VAULTS SOUTH THEN WEST ON WILWOOD LN FROM SEG A2 EAST LATERAL UMATILLA CITY PLANTS TO SEG A2 LATERAL UMATILLA CITY PLANTS ON THE NORTH SIDE OF ACCESS DIET ROAD NORTH ON THE WEST SIDE OF DIET RD TO THE 3RD UNDERGROUND ENTAILANCE ON THE WEST SIDE OF DIET RD, PULL FIBER CABLE THROUGHOUT.



SCALE: 1"=2000'

NO	DATE	ENGINEER	DRAWER	CHK	REVISION #	COMMENT
1	3/7/18				1	ORIGINAL



ZAYO ENGINEER - DAN BARCOMB
 ENGINEER-IN-CHARGE - BRYSON BAILY
 PROJECT NAME - BOARDMAN TO UMATILLA - SEG A2
 LOCATION - UMATILLA, OR 97882
 SHEET NO - UMATILLA-CONDUIT-SEG-A2-01
 SHEET 1 OF 1

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT.	ELECTRIC
EOP	EDGE OF PAVEMENT
EDTW	EDGE OF TRAVEL WAY
FCC	FACE OF CURB
F/O	FIBER OPTIC
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RGS	RIGID GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
STA	STATION
STM	STEM
TEL	TELECOM

SYMBOLS

	RISER - EXISTING		TRANSMISSION/DISTRIBUTION POLE
	RISER - PROPOSED		TRANSMISSION POLE
	CATCH BASIN/INLET (RECTANGULAR)		DISTRIBUTION POLE
	CATCH BASIN/INLET (ROUND)		GROUND/BOND
	FIRE HYDRANT		AERIAL STORAGE - EXISTING
	WATER/GAS VALVE		AERIAL STORAGE - PROPOSED
	LIGHT POST		VAULT/BUILDING STORAGE - EXISTING
	STREET LIGHT		VAULT/BUILDING STORAGE - PROPOSED
	TRAFFIC LIGHT ARM		POLE ANCHOR/DOWN GUY - EXISTING
	TREE		POLE ANCHOR/DOWN GUY - PROPOSED
	CULVERT		DOWN GUY TO EXISTING ANCHOR - PROPOSED
	WING WALL		SPLICE POINT - EXISTING
	BRIDGE		SPLICE POINT - PROPOSED
	STREET SIGN		TERMINATION - EXISTING
	ADA RAMP		TERMINATION - PROPOSED
	UTILITY POLE - EXISTING		PULLBOX - EXISTING
	UTILITY POLE - PROPOSED		PULLBOX - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		CONSTRUCTION NOTE / RESTORATION CALLOUT
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)		PHOTO-MARKER
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		NORTH ARROW
	HANDHOLE - PROPOSED (SIZE MAY VARY)		
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	PEDESTAL - PROPOSED (SIZE MAY VARY)		
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)		
	WET UTILITY MANHOLE - PROPOSED (SIZE MAY VARY)		
	BORE PIT - PROPOSED (SIZE MAY VARY)		
	UTILITY POTTHOLE		

INFORMATION TABLES

POLE NUMBER	0-0	UTILITY POLE INFORMATION TABLE (NUMBER OF ATTACHMENTS MAY VARY)
EXISTING UTILITY	0-0	
PROPOSED ATTACH	0-0	
#F	IN: / OUT:	SEQUENTIAL IN/OUT CALLOUT
#F	IN: / TAIL:	SEQUENTIAL IN/TAIL CALLOUT
#F	TAIL: / OUT:	SEQUENTIAL TAIL/OUT CALLOUT
HATCH PATTERNS		
		CONCRETE SIDEWALK
		GRASS/VEGETATION
		GRAVEL
		WATER

811
Know what's below.
Call before you dig.

zayo
COMMUNICATIONS

AS-BUILT
REVISION # 1
ORIGINAL
COMMIT

DATE: 3/7/18
BY: [Signature]
ENGINEER: [Signature]
DRAFTER: [Signature]

PROJECT NUMBER: [Number]
PROJECT NAME: [Name]
LOCATION: [Address]
UMATILLA, OR 97147
DATE: 3/7/18
SCALE: 1" = 30'

MSS
MASONRY & STRUCTURAL SERVICES

GENERAL NOTES

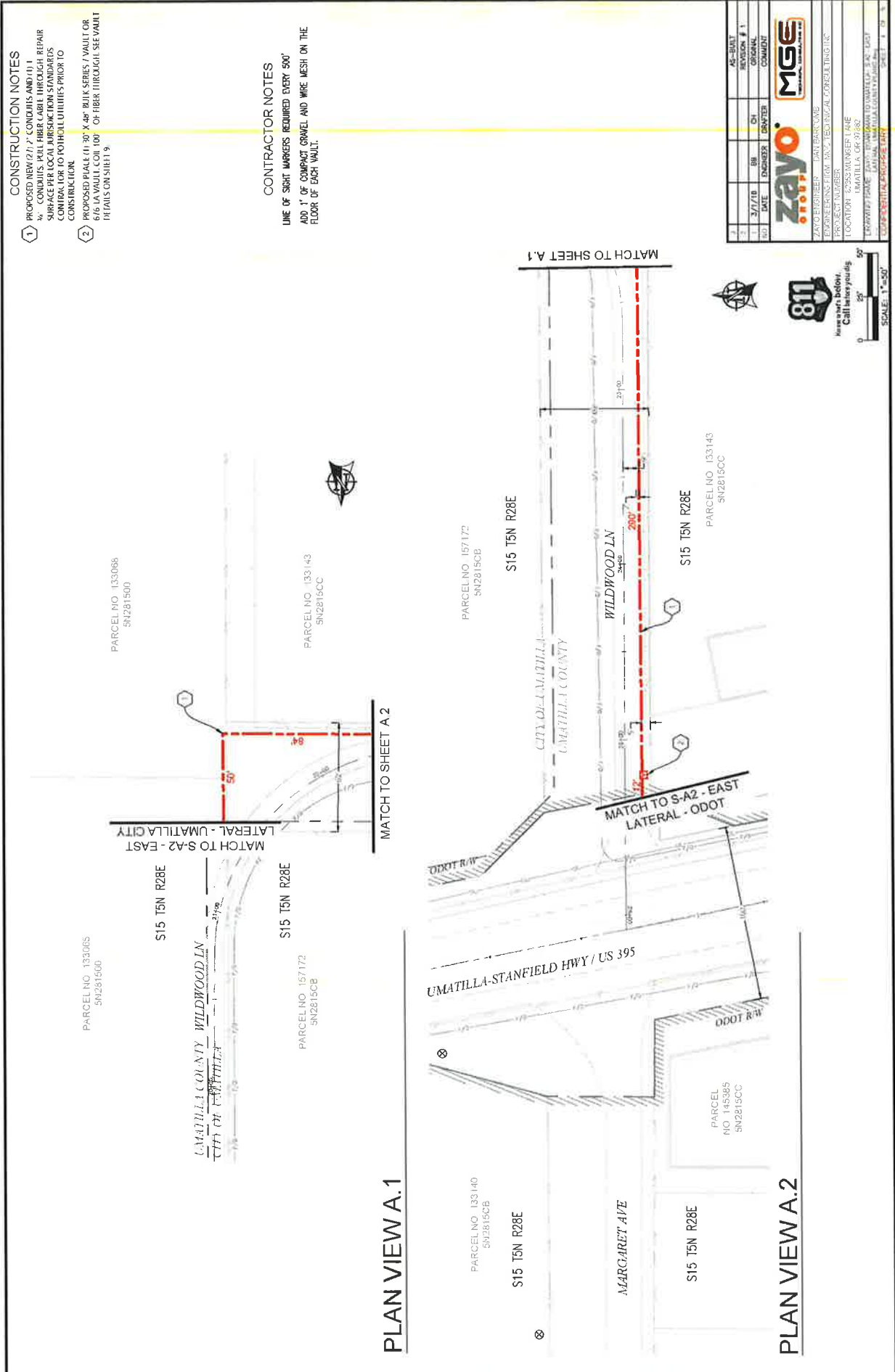
GENERAL NOTES:
 The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to third parties for the accuracy of this information. Persons working in the area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF UMATILLA REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE ARE CONFLICTS BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER OR MORE STRINGENT SHALL APPLY. ALL WORK WITHIN PUBLIC ROW OR EASEMENTS MAY REQUIRE INSPECTION BY THE CITY OF UMATILLA INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION, AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE CITY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH M.U.T.C.D. FOR APPROVAL. PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS. PRIOR TO INSTALLATION A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY OF UMATILLA.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF UMATILLA INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE CITY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE CITY OF UMATILLA.



NO.	DATE	BY	CHK	AS-BUILT REVISION # 1
1	3/7/18	BB	CH	ORIGINAL
		DICKNER	DAWTER	COMMENT

Zayo
 MGC TECHNICAL CONSULTING, INC.
 PROJECT NUMBER: 18-02-TELEPHONE CABLES & TRIPLES
 LOCATION: 22000 WAGON LANE UMATILLA, OR 97146
 DRAWING TITLE: UMATILLA C.D. # 18
 DRAWING NUMBER: 18-02-TELEPHONE CABLES & TRIPLES
 SHEET 3 OF 3



CONSTRUCTION NOTES

- PROPOSED NEW 27.7' CONDUITS AND 11.1' CONDUITS FOR FIBER CABLE THROUGH REPAIR WORK FOR LOCAL JURISDICTION STANDARDS. CONTRACTOR TO VERIFY POTENTIAL OBSTACLES PRIOR TO CONSTRUCTION.
- PROPOSED PLACE (1) 30" X 48" BULLY SERIES / VAULT OR 616 JAW VULT (1) 00' OF FIBER THROUGH. SEE VAULT PLANS ON SHEET 'S'.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

NO.	DATE	ENGINEER	DRAWER	REVISION # 1	AS-BUILT
1	3/7/18	zayo		ORIGINAL	

zayo
MGE
 MARGARET AVE, UMATILLA, OR 97882

PROJECT: FIBER OPTIC NETWORK EXPANSION
 PROJECT MANAGER: JEFFREY W. HARRIS
 LOCATION: 2255 MARGARET AVE, UMATILLA, OR 97882
 DRAWN BY: JEFFREY W. HARRIS
 CHECKED BY: JEFFREY W. HARRIS
 DATE: 3/7/18



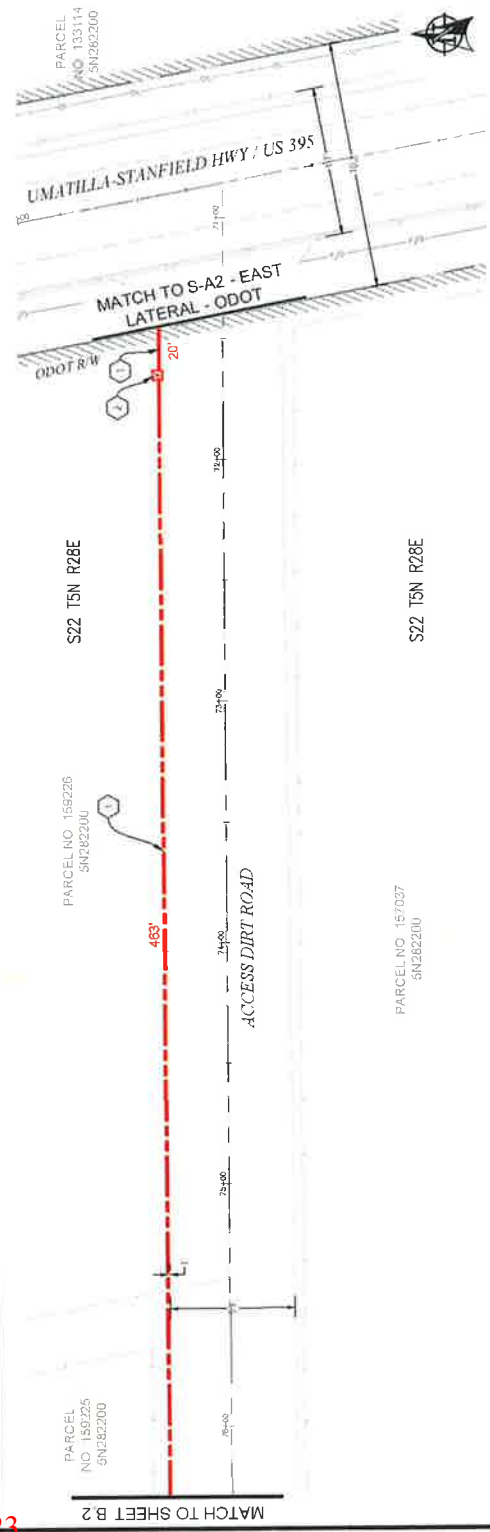
CONSTRUCTION NOTES

(1) PROPOSED NEW 622' CONDUIT AND (1) CONDUIT WITH FIBER LABEL THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS CONTRACTOR TO PO HOLE UTILITIES PRIOR TO CONSTRUCTION.

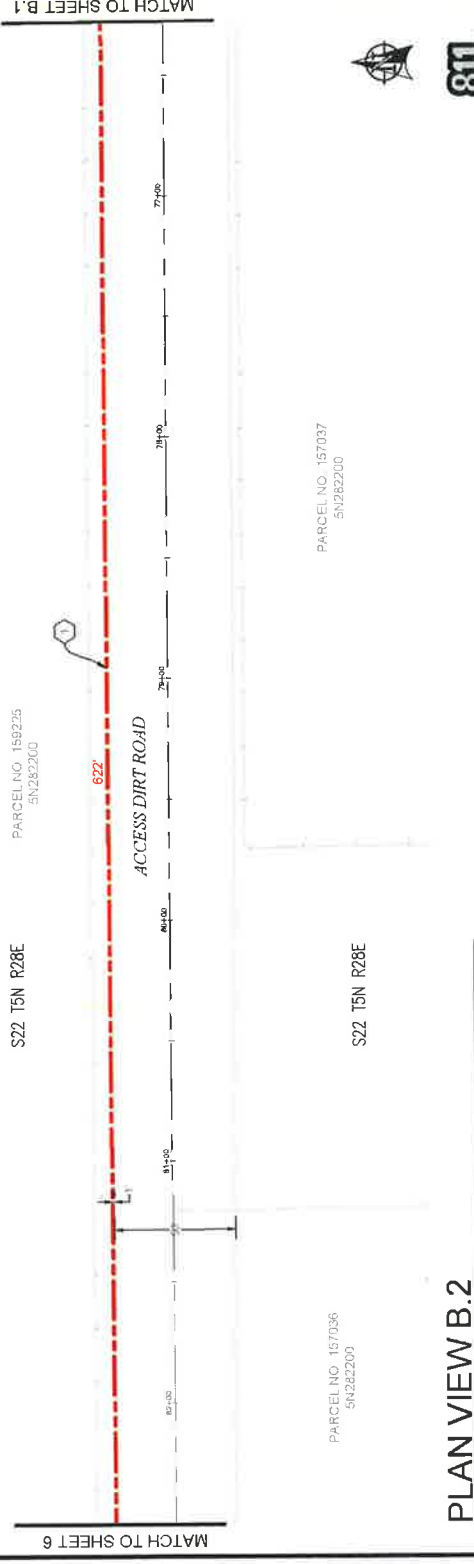
(2) PROPOSED PLACE (1) 30" X 48" BULK HEADS / VAULT OR 616-LA VAULT CON-100 ON FIBER THROUGH-SEE VAULT DETAILS ON SHEET 9.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' ADD 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW B.1



PLAN VIEW B.2

AS-BUILT	REVISION # 1		
DATE	ENGINEER	DRWTR	COMMIT
3/7/16	RB	CH	

ZAYO PARTNER: (602) 948-5048
 ENGINEERING: (602) 948-5048
 PROJECT NUMBER: 157036
 LOCATION: 1530 AMBERLEY AVE
 UMATILLA, OR 97142
 DRAWING TITLE: FIBER OPTIC ROUTE B.1
 SHEET 5 OF 8



811

www.811.org
 Call before you dig.



PARCEL NO. 157037
5N2B2200

PARCEL NO. 157036
5N2B2200

PARCEL NO. 159225
5N2B2200

PARCEL NO. 159226
5N2B2200

S22 T5N R28E

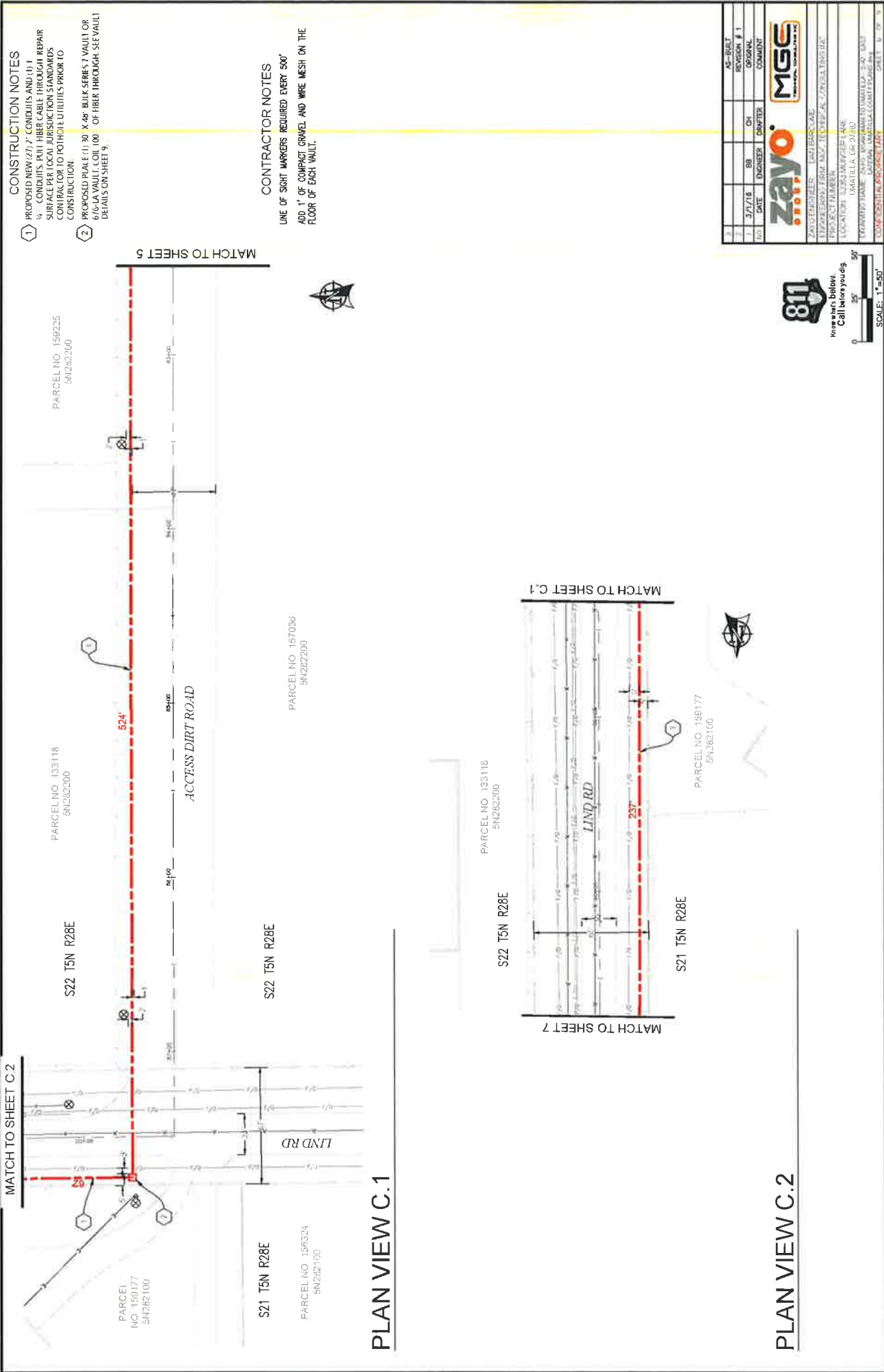
S22 T5N R28E

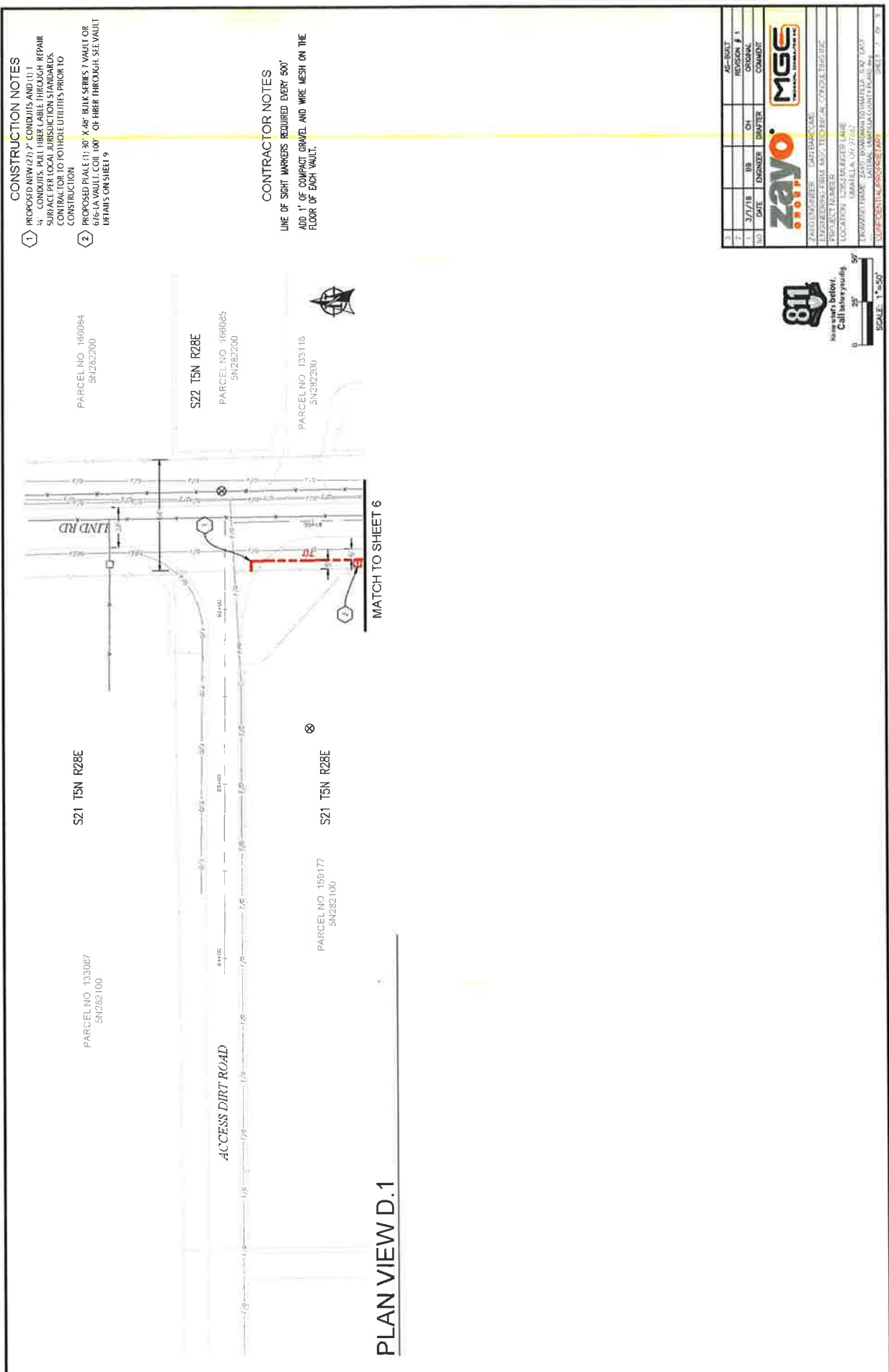
S22 T5N R28E

S22 T5N R28E

MATCH TO SHEET B.2

MATCH TO SHEET 6





CONSTRUCTION NOTES

- 1 PROPOSED NEW (2") 2' CONDUITS AND (1") 1 2' CONDUITS. PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION'S STANDARDS. VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2 PROPOSED PLACE (1") 30" X 48" BULKHEAD VAULT OR 60" DIA VAULT ON TOP OF FIBER THROUGH. SET VAULT 18" FROM SURFACE.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1" OF CONCRETE GRABEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

3						AS-BUILT
2						REVISION # 1
1	3/7/18	BR	OH			ORIGINAL
	NO	DATE	ENGINEER	DRAWER	COMMIT	

PROJECT: 180302020
 PROJECT NUMBER: 180302020-DIGITAL LOCAL UTILITY
 LOCATION: ENCLAMER FARM
 (PARCELS 133027)

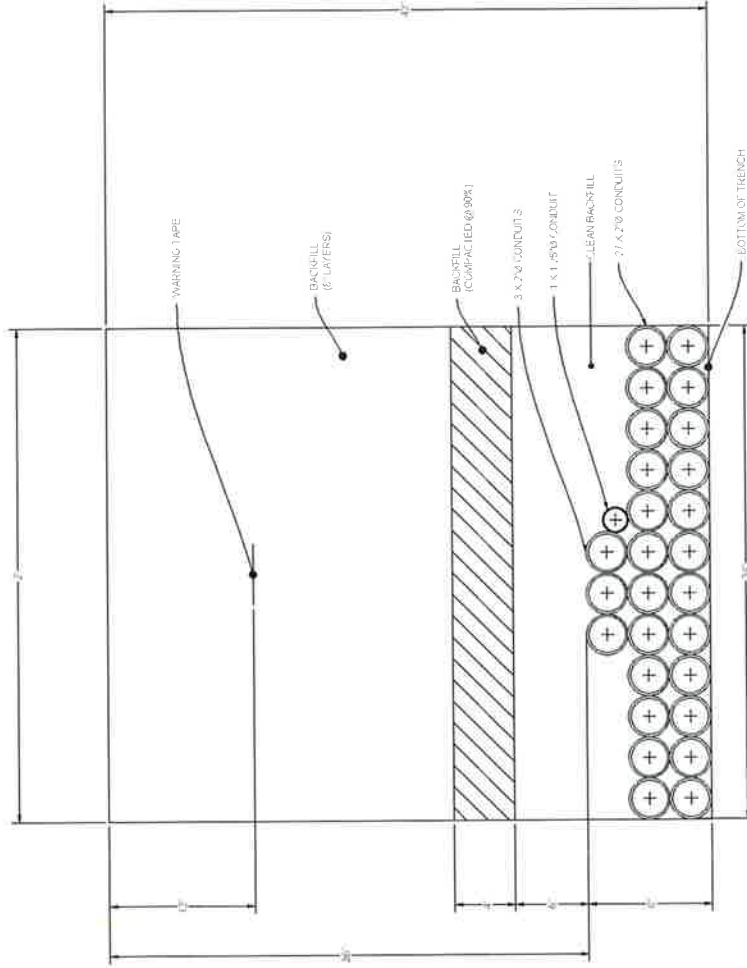
PREPARED BY: ZAYO ENGINEERING, INC.
 DATE: 3/7/18
 SHEET: 3 OF 3

811

Dig Safe Before
 Call or Dig
 Call before you dig

SCALE: 1"=50'

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1
SCALE: NTS

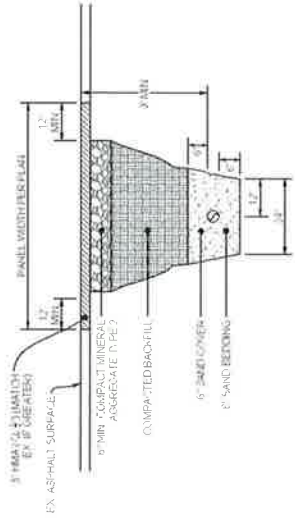


View site below
Call before you dig

NO.	DATE	DESIGNED BY	CHECKED BY	REVISION #	DESCRIPTION
1	5/7/19	BB	CH	ORIGINAL	
2					

 ZAYO TELECOMMUNICATIONS 11200 BELLEVUE PARKWAY, SUITE 2000, FORT WORTH, TEXAS 76154 PROJECT NUMBER: 12020000000000000000 LOCATION: 12020000000000000000 DRAWING NO.: 12020000000000000000 DRAWING TITLE: 12020000000000000000 SHEET NO.: 12020000000000000000	 MGS MECHANICAL GROUP SERVICES 12020000000000000000 12020000000000000000 12020000000000000000 SHEET 1 OF 1
---	--

UNDERGROUND TYPICALS



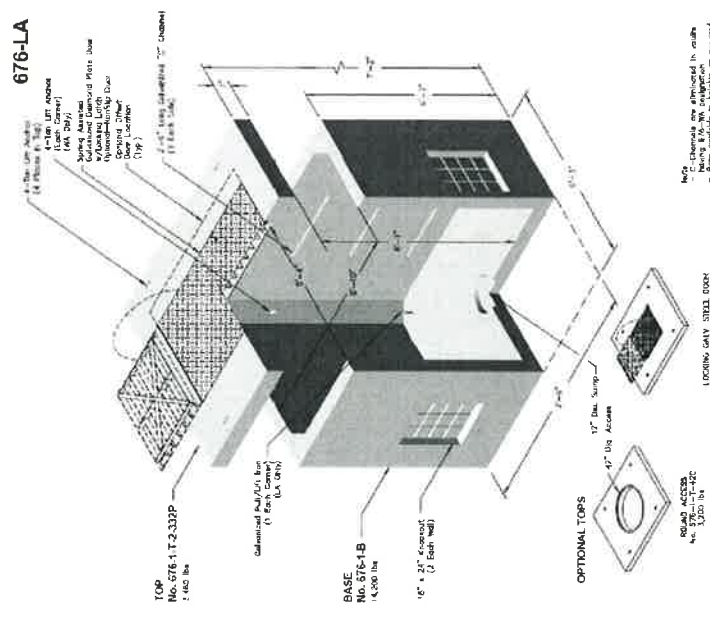
TYPICAL PATCH TRENCH DETAIL
SCALE NTS

BODY SPECIFICATIONS

Cover Weight	50 lbs. [23 kg]
Pit Weight	82 lbs. [37 kg]
Assembled Weight	132 lbs. [60 kg]

SHIELD Composite Cover
BULK Bulk Nuts & Bolts 3/8\"/>

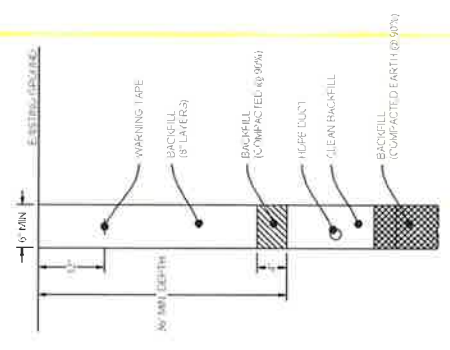
TYPICAL BULK - SERIES 4 VAULT DETAIL
SCALE NTS



676-LA 5' X 7' X 6' POWER WATER GAS
676-LA File Name: 030-08 11A Issue Date: 2015 030818@procast.com/atl@procast.com

Notes:
- Dimensions are provided in inches.
- All dimensions are to be maintained unless otherwise noted.
- Some materials may vary from those shown.

TYPICAL 676LA VAULT
SCALE NTS



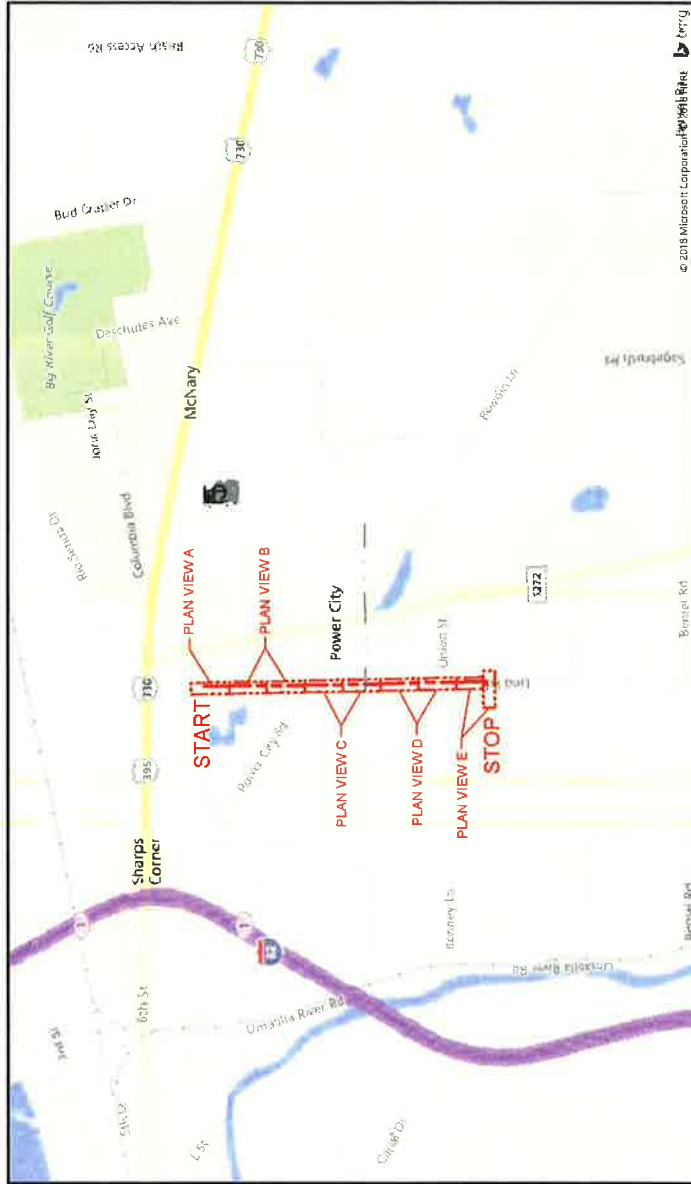
TYPICAL TRENCH IN SOIL DETAIL
SCALE NTS



DATE	3/7/18	BY	DN	PROJECT #	1
SCALE	ENGINEER	QUANTITY	COMMENT		

zayo MGC
MGC MICHIGAN GROUND COVER
 2700 EASTERN AVENUE, SUITE 200
 TROY, MI 48063
 TEL: 248.252.2000
 FAX: 248.252.2001
 WWW.MGC-COVER.COM

ADDRESS: 82353 MUNGER LANE, UMATILLA, OR 97882
 PROJECT NAME: BOARDMAN TO UMATILLA - UMATILLA COUNTY - SEG A2 - WEST LATERAL - BULK CONDUIT



SITE LOCATION BILL OF MATERIALS

NEW AERIAL	=	0 FT.
OVERLASH	=	0 FT.
NEW UNDERGROUND	=	4,663 FT.
EXISTING UNDERGROUND	=	0 FT.
RISERS	=	0 FT.
ISP	=	0 FT.
TOTAL FOOTAGE	=	4,663 FT.



SCALE: 1" = 2000'

CONTACTS

ZAYO CONTACT
 DAN BARCOMB
 22651 83RD AVE S
 KENT WA 98032
 C. 509.727.3345
 DANBARCOMB@ZAYO.COM

BRYSON BAILY
 MGC TECHNICAL CONSULTING, INC
 6244 185TH AVE NE
 REDMOND, WA 98052
 C.206.799.3001
 BRYSON@MGCTECHNICAL.COM

- ### SHEET INDEX
1. COVER SHEET / SITE LOCATION
 2. LEGEND
 3. GENERAL NOTES
 - 4-6. PLAN VIEWS A - E
 9. DUCT SYSTEM DETAILS
 10. UNDERGROUND TYPICALS

SCOPE OF WORK

PLACE CONDUIT AND VAULTS SOUTH ON THE EAST SIDE OF LIND RD FROM SEG A2 CITY OF UMATILLA PLANS TO THE NORTH SITE ENTRANCE ON THE WEST SIDE OF LIND RD THROUGHOUT THROUGHOUT

NO.	DATE	BY	CHK	DRW/REV	COMMENTS
1					
2	3/1/18	SB	CH		REVISION # 1
3					ORIGINAL
4					CONDUIT

zayo
 MGC TECHNICAL CONSULTING, INC
 6244 185TH AVE NE
 REDMOND, WA 98052
 C. 206.799.3001
 BRYSON@MGCTECHNICAL.COM

ZAYO PROJECT: BOARDMAN TO UMATILLA - UMATILLA COUNTY - SEG A2
 PROJECT NUMBER: 18001
 LOCATION: UMATILLA, OR 97882
 DRAWING NAME: BOARDMAN TO UMATILLA - SEG A2 - WEST LATERAL - BULK CONDUIT - PLAN SHEET
 CONSULTANT PROJECT NO.:
 SHEET: 1 OF 10

LEGEND

LINETYPES

	AERIAL FIBER - EXISTING
	AERIAL FIBER - ATTACH
	AERIAL FIBER - OVERLASH
	STRAND - EXISTING
	STRAND - PROPOSED
	CONDUIT - EXISTING
	CONDUIT - PROPOSED
	INNERDUCT - EXISTING
	INNERDUCT - PROPOSED
	GAS
	WATER
	TELEPHONE
	FIBER OPTIC
	ELECTRIC
	SANITARY SEWER (SEW)
	STORM DRAIN
	CABLE TV
	STEAM
	OIL
	UNKNOWN UTILITY
	FENCE
	RIGHT OF WAY
	EDGE OF PAVEMENT

ABBREVIATIONS

ASW	ASPHALT SIDEWALK
BP	BLACK IRON PIPE
BSP	BLACK STEEL PIPE
CSW	CONCRETE SIDEWALK
ELECT	ELECTRIC
EOP	EDGE OF PAVEMENT
EOTW	EDGE OF TRAVEL WAY
FCC	FACE OF CURB
F/O	FIBER OPTIC
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
JB	JUNCTION BOX
MH	MANHOLE
MP	MILE POST
O/S	OFFSET
PR	POWER RISER
PVC	POLY VINYL CHLORIDE
RGS	RKGD GALVANIZED STEEL CONDUIT
ROW	RIGHT OF WAY
SEW	SANITARY SEWER
SD	STORM DRAIN
SITA	STATION
STM	STEAM
TEL	TELECOM

INFORMATION TABLES

POLE NUMBER	0-0
EXISTING UTILITY	0-0
PROPOSED ATTACH	0-0

UTILITY POLE INFORMATION TABLE (NUMBER OF ATTACHMENTS MAY VARY)

#	IN:
#	OUT:

SEQUENTIAL IN/OUT CALLOUT

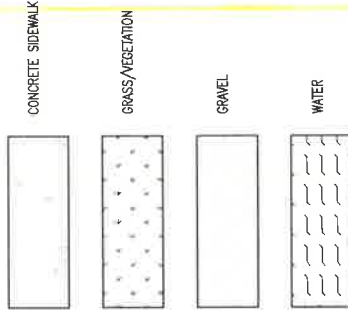
#	IN:
#	TAIL:

SEQUENTIAL IN/TAIL CALLOUT

#	TAIL:
#	OUT:

SEQUENTIAL TAIL/OUT CALLOUT

HATCH PATTERNS



SYMBOLS

	RISE - EXISTING
	RISE - PROPOSED
	CATCH BASIN/INLET (RECTANGULAR)
	CATCH BASIN/INLET (ROUND)
	FIRE HYDRANT
	WATER/GAS VALVE
	LIGHT POST
	STREET LIGHT
	TRAFFIC LIGHT ARM
	TREE
	CULVERT
	WING WALL
	BRIDGE
	STREET SIGN
	ADA RAMP
	UTILITY POLE - EXISTING
	UTILITY POLE - PROPOSED
	TRAFFIC RATED VAULT - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	TRAFFIC RATED VAULT - PROPOSED (SIZE MAY VARY)
	HANDHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	HANDHOLE - PROPOSED (SIZE MAY VARY)
	PEDESTAL - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	PEDESTAL - PROPOSED (SIZE MAY VARY)
	WET UTILITY MANHOLE - EXISTING (SIZE AND UTILITY TYPE MAY VARY)
	WET UTILITY MANHOLE - PROPOSED (SIZE AND UTILITY TYPE MAY VARY)
	ROBE PIT - PROPOSED (SIZE MAY VARY)
	UTILITY POTHOLE
	TRANSMISSION/DISTRIBUTION POLE
	TRANSMISSION POLE
	DISTRIBUTION POLE
	GROUND/BOND
	AERIAL STORAGE - EXISTING
	AERIAL STORAGE - PROPOSED
	VAULT/BUILDING STORAGE - EXISTING
	VAULT/BUILDING STORAGE - PROPOSED
	POLE ANCHOR/DOWN GUY - EXISTING
	POLE ANCHOR/DOWN GUY - PROPOSED
	DOWN GUY TO EXISTING ANCHOR - PROPOSED
	SPLICE POINT - EXISTING
	SPLICE POINT - PROPOSED
	TERMINATION - EXISTING
	TERMINATION - PROPOSED
	PULLBOX - EXISTING
	PULLBOX - PROPOSED
	CONSTRUCTION NOTE / RESTORATION CALLOUT
	PHOTO-MARKER
	NORTH ARROW



AS-BUILT REVISION # 1

1	3/17/18	DR	CH	DATE	EXCHANGED	DRAWN BY	CONDUIT
---	---------	----	----	------	-----------	----------	---------

zayo **MGE**
MID-LEVEL CONTRACTORS

PROJECT NUMBER: 2018-10-01
PROJECT NAME: 2018-10-01
LOCATION: 2225 S. 100th St. #100
MAPS: 2225 S. 100th St. #100
LOCAL OFFICE: 2018-10-01
DATE: 3/17/18

GENERAL NOTES

GENERAL NOTES:
 The locations of utilities shown on these drawings are only approximate. MGC TECHNICAL CONSULTING, INC. hereby disclaims any responsibility to the accuracy of this information. Personnel working in this area covered by this drawing must contact the statewide Call-Before-You-Dig System to ascertain the location of underground utilities prior to performing any excavation.

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF UTILITY IMPROVEMENTS SHALL MEET OR EXCEED SITE WORK STANDARDS AND THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF UMATILLA REGULATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS. THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC ROW OR EASEMENTS MAY REQUIRE INSPECTION AND APPROVAL BY THE CITY OF UMATILLA INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY DESIGNEE OF PROJECT SPONSOR/OWNER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF UMATILLA INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF UMATILLA AND ALL UTILITY COMPANIES WITH REGARD TO REPAIRS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND ONE (1) COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. FOR WORK AFFECTING PUBLIC ROADWAYS OR IF REQUIRED BY THE CITY OF UMATILLA, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL AND PHASING PLAN IN ACCORDANCE WITH MUTCD FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY SAID PLANS PRIOR TO INSTALLATION. A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH CITY OF UMATILLA.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED OR RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. PER AGENCY STANDARDS THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING RECORD INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE CITY OF UMATILLA INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. FOR ADDITIONAL INFORMATION CONTACT THE ENGINEER FOR CLARIFICATION AND NOTE ON THE RECORD DRAWINGS.
14. ALL EROSION AND SEDIMENT CONTROL (E.S.C.) MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION PRIOR TO GROUND DISTURBING ACTIVITY. ALL E.S.C. MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE CITY OF UMATILLA ENGINEERING DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
16. ALL CONSTRUCTION OPERATIONS INCLUDING THE MARKING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE TIME PERIOD APPROVED BY THE CITY OF UMATILLA.



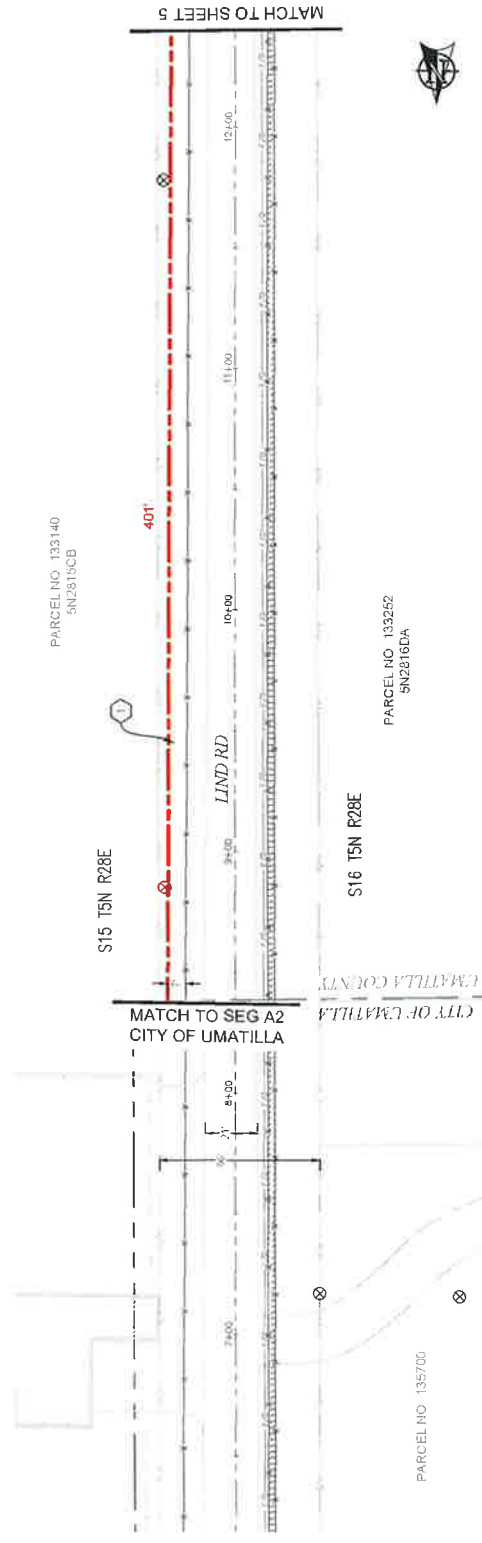
3	AS-BUILT				
2	REVISION # 1	OR	CH		
1	DATE	3/7/18	DR	DATE	3/7/18
			DESIGNER		COMMENTS
			UPDATER		



ZATO ENGINEERING PARTNERSHIP
 2020 10TH AVENUE, SUITE 100
 EPHRAIM, OREGON 97025
 PHONE: 503.255.1111
 FAX: 503.255.1112
 WEBSITE: WWW.ZATOENGINEERING.COM
 PROJECT: UMATILLA, OR 3718
 DRAWING: UMATILLA, OR 3718
 SHEET: UMATILLA, OR 3718

CONSTRUCTION NOTES
 ① PROPOSED NEW (2) 2" CONDUITS AND (1) 1" CONDUIT PULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PATCH UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW A.1

1	DATE	DESIGNED	DRAWN	CH	REVISION
2	3/7/18				ORIGINAL
3					COMMIT

AS-BUILT
 REVISION # 1
 ORIGINAL
 COMMIT

zayo
 zayo fiber
 zayo fiber
 zayo fiber

ZAYO ENGINEER DAN CARROLL
 ENGINEER FROM MCG TECHNICAL CONSULTANTS INC.
 PROJECT NUMBER
 LOCATION UMATILLA, OR 97882
 DRAWING DATE 12/25/2018
 DRAWING TIME 10:00 AM
 DRAWING BY MCG
 DRAWING CHECKED BY MCG
 SHEET 1 OF 8

Know what's below.
 Call before you dig.

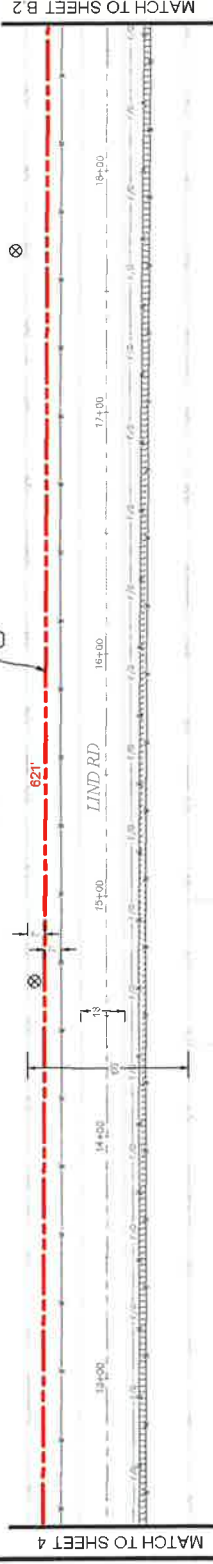
0 25 50
 SCALE: 1"=50'

CONSTRUCTION NOTES

1 PROPOSED NEW 1/2" x 2" CONDUITS AND 1/1" x 1/4" CONDUITS FULLY BURIED THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO NOTIFY UTILITIES PRIOR TO CONSTRUCTION.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW B.1



PLAN VIEW B.2

NO.	DATE	BY	CHK	ENGINEER	DESIGNER	COMMENT
1	3/7/18	BB	CH			ORIGINAL

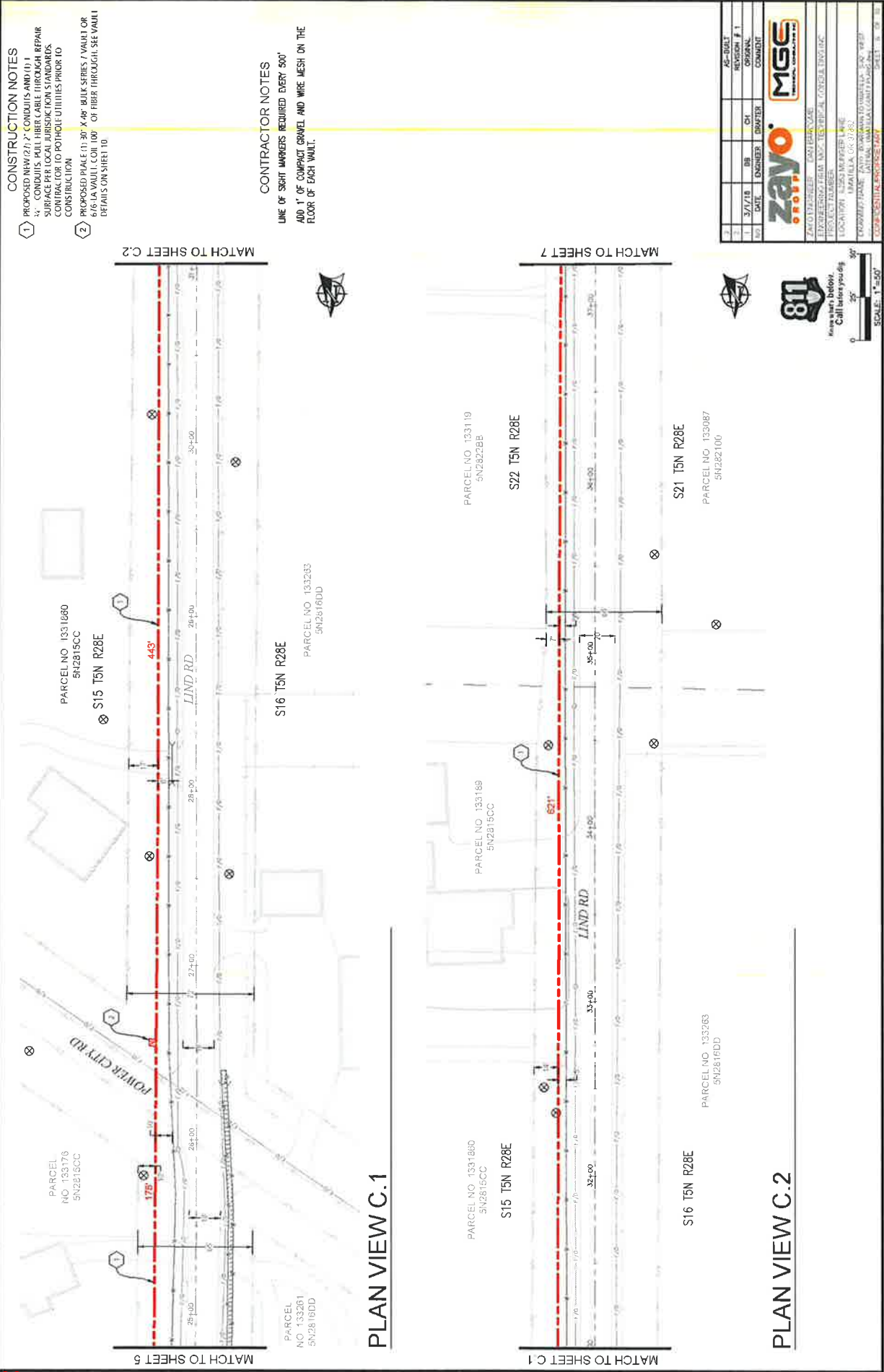
AS-BUILT REVISION # 1



Have the 811 done
Call before you dig



ZAYO FIBER SERVICES, LLC
 15000 HUNTERS GREEN DR., SUITE 200, FORT WORTH, TX 76126
 LOCATION: LAS VEGAS, NV
 PROJECT NAME: JAY'S BOWMAN TO DOMITILLA 3/4" x 1/1" LIND RD. COMPLETE CABLE REPAIR
 SHEET NO. 133255



CONSTRUCTION NOTES

1. PROPOSED NEW 21" 7' CONDUITS AND (1) 1" 4" CONDUITS FULL FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONDUITS TO BE INSTALLED PRIOR TO UTILITIES PRIOR TO CONSTRUCTION.

2. PROPOSED PLACE (1) 30" X 48" BULK HEADS / VAULT OR 676-LA VAULT (CON. 100' OF FIBER THROUGH SEE VAULT DETAILS ON SHEET 10.

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1" OF COMPACT GRAVEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.

PLAN VIEW C.1

PLAN VIEW C.2

NO.	DATE	ENGINEER	DB	OH	BY	REVISION # 1
1	3/7/18	ZAYO				

ZAYO
ENGINEERING & ARCHITECTURE
1000 NORTH UNIVERSITY AVENUE
SUITE 200
MESA, AZ 85201
TEL: 480.948.8888
WWW.ZAYO.COM

MSE
MESA STATE UNIVERSITY
1000 UNIVERSITY AVENUE
SUITE 200
MESA, AZ 85201
TEL: 480.948.8888
WWW.MESA.EDU

PROJECT: LIND ROAD
DRAWN: J. WILSON
DATE: 3/7/18
SCALE: 1" = 50'



MATCH TO SHEET C.2

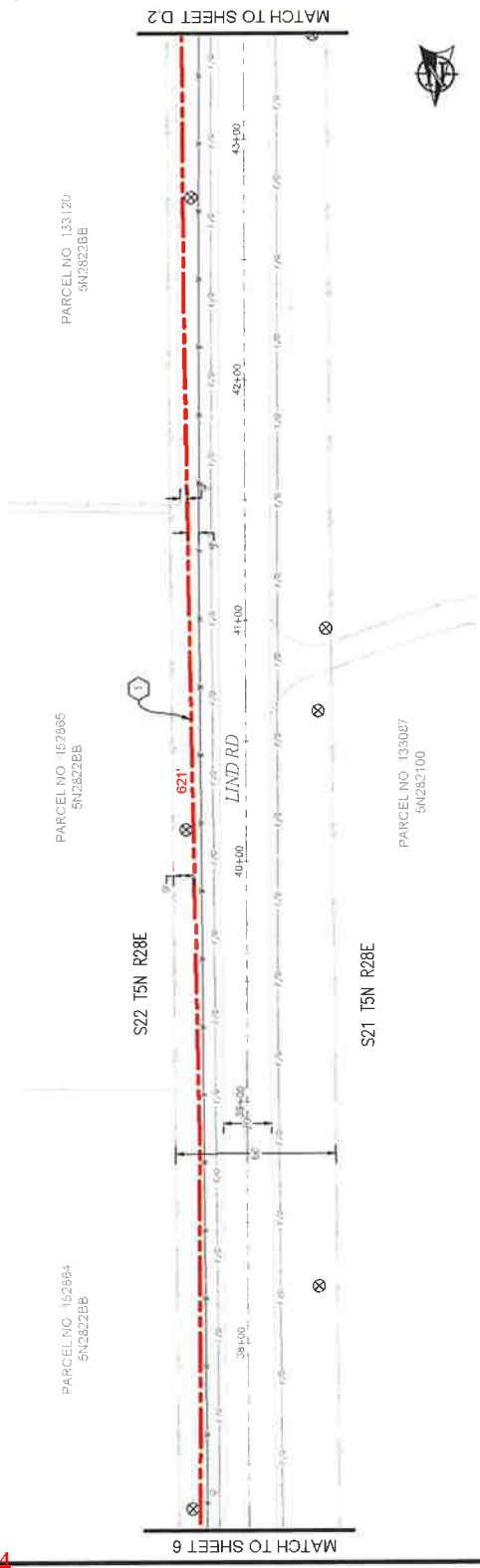
MATCH TO SHEET 7

MATCH TO SHEET 5

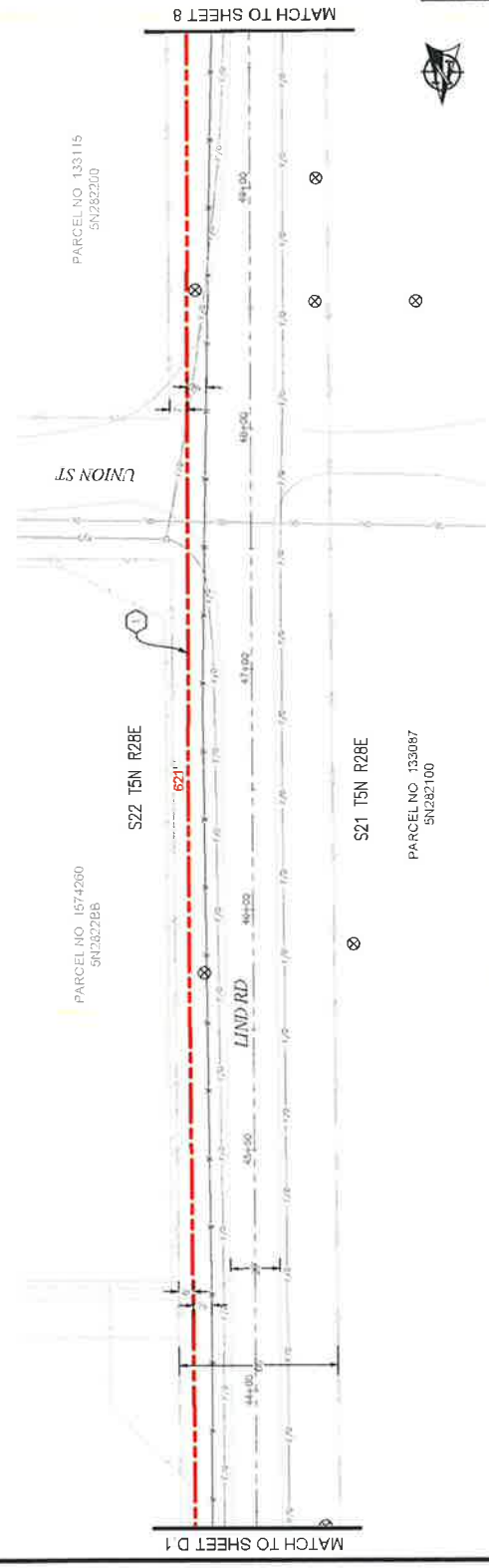
MATCH TO SHEET C.1

CONSTRUCTION NOTES
 1 PROPOSED NEW 27.7' CONDUITS AND 10' 1" H.C. CONDUITS PULL FIBER CABLE THROUGH REPAIR HOLES TO BE MADE BY CONTRACTOR TO BE COMPLETED PRIOR TO CONSTRUCTION

CONTRACTOR NOTES
 LINE OF SIGHT MARKERS REQUIRED EVERY 500'



PLAN VIEW D.1



PLAN VIEW D.2

NO.	DATE	BY	CHKD	REVISION #	COMMENT
1	3/7/18	BB	CH	1	AS-BUILT
2					
3					

zayo
 Fiber Optic Services
 811
 Call before you dig

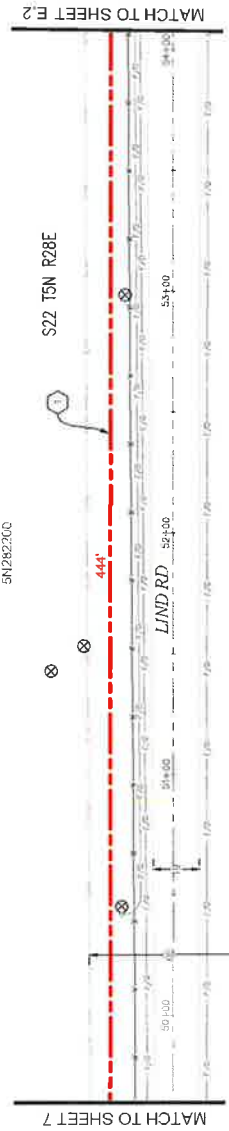
MGS
 Mechanical & Electrical Services
 811
 Call before you dig

PROJECT: FIBER OPTIC SERVICES FOR THE STATE OF TEXAS
 LOCATION: 133115 LIND RD, DALLAS, TX 75244
 DRAWING NO.: 18-000001-01
 SCALE: 1" = 50'

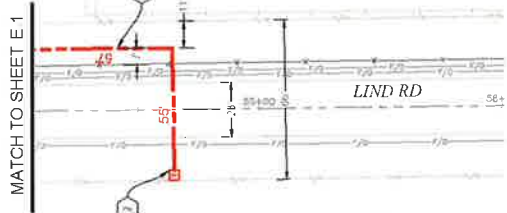
- CONSTRUCTION NOTES**
- 1) PROPOSED NEW 2" X 2" CONDUITS AND (1) 4" CONDUIT, PER FIBER CABLE THROUGH REPAIR SURFACE PER LOCAL JURISDICTION STANDARDS. CONTRACTOR TO PROVIDE UTILITIES PRIOR TO PROPOSED INSTALLATION.
 - 2) PROPOSED (1) 30" X 48" BULK SERIES 7 VAULT OR 6/6 IN VAULT, CONC. 100' OF FIBER THROUGH SET VAULT DETAILS ON SHEET 10

CONTRACTOR NOTES

LINE OF SIGHT MARKERS REQUIRED EVERY 500' AND 1' OF COMPACT GRANEL AND WIRE MESH ON THE FLOOR OF EACH VAULT.



PLAN VIEW E.1



PLAN VIEW E.2



Have a hole?
Call 811.



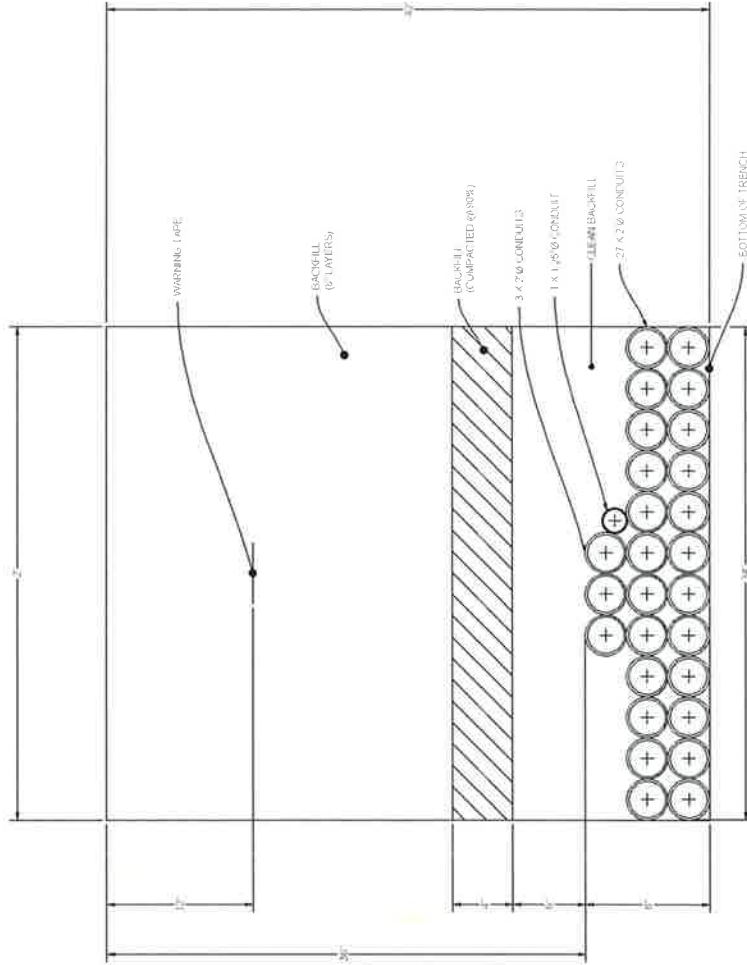
SCALE: 1" = 50'

NO.	DATE	ENGINEER	DATE	BY	OH	REVISION #
1	3/1/18	ZAYO				1

zayo **MSE**
MANAGED SERVICES ENGINEERING

ZAYO ENGINEERING - DATA CENTER - 208
 1000 WILSON BLVD - SUITE 100 - FORT WORTH, TEXAS 76102
 TEL: 817.635.5555 FAX: 817.635.5556
 WWW.ZAYOENGINEERING.COM

DUCT SYSTEM DETAILS



DUCT BANK TRENCH DETAIL #1

SCALE: NTS

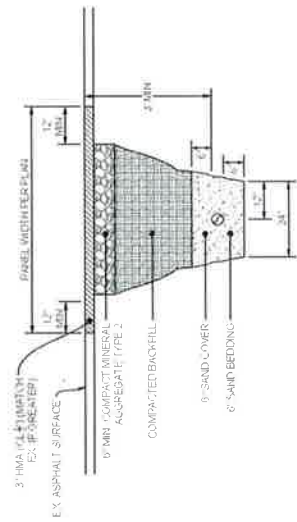


Know what's below.
Call before you dig

NO.	DATE	ENGINEER	DRWING	CH	REVISION #	AG-BUILT
1	3/7/18	EB	CH	CH	ORIGINAL	
2						
3						

zayo	MGE
ZAYO ENGINEERS - CONSULTING	MGE CONSULTING
15000 SHERWOOD BLVD, SUITE 1000	15000 SHERWOOD BLVD, SUITE 1000
HOUSTON, TEXAS 77042	HOUSTON, TEXAS 77042
PHONE: 281.416.1000	PHONE: 281.416.1000
FAX: 281.416.1001	FAX: 281.416.1001
WWW.ZAYOENGINEERS.COM	WWW.MGECONSULTING.COM

UNDERGROUND TYPICALS

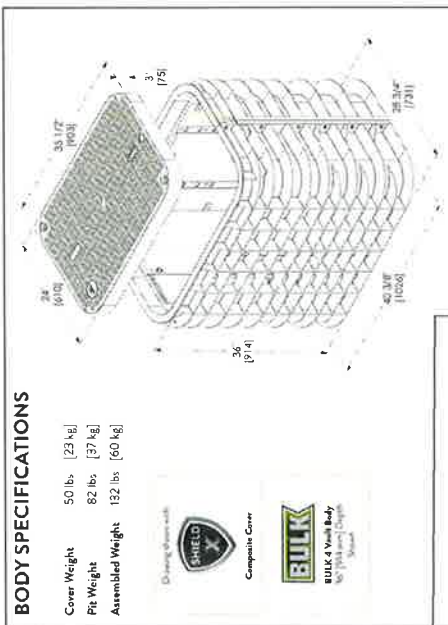


TYPICAL PATCH TRENCH DETAIL

SCALE: NTS

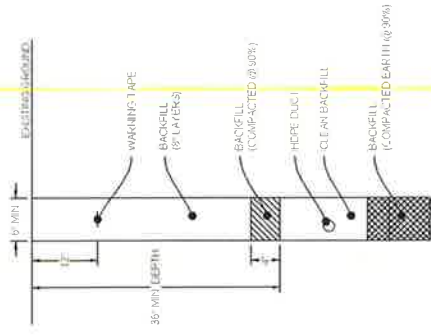
BODY SPECIFICATIONS

Cover Weight	50 lbs [23 kg]
Fits Weight	82 lbs [37 kg]
Assembled Weight	132 lbs [60 kg]



TYPICAL BULK - SERIES 4 VAULT DETAIL

SCALE: NTS



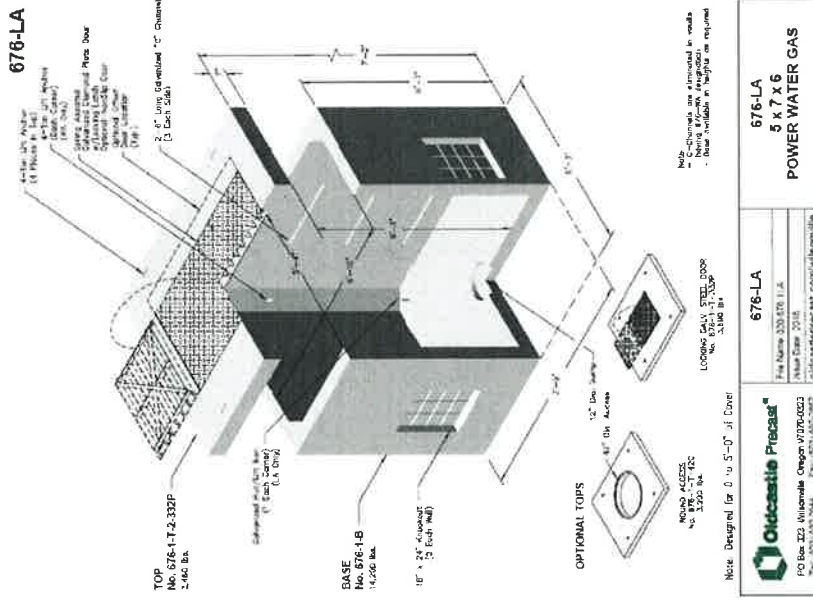
TYPICAL TRENCH IN SOIL DETAIL

SCALE: NTS



Know what's below
Call before you dig

NO.	3/7/18	BB	CH	OR	AS-BUILT
DATE	ENGINEER	DRAWN	DATE	REVISION # 1	ORIGNAL
ZAYO PROJECT: DATA CENTER PROJECT NO.: 152-TELEPORT CENTER/INGENIE PROJECT NAME: TELEPORT CENTER/INGENIE LOCATION: 152-TELEPORT CENTER LOCATION: UNRAIL, OR 97143 DRAWN BY: JAYO SWANSON/TOWATALE, JAYO SWANSON CHECKED: JACQUELINE LORETT/PAULINE YOUR SOURCE: POWER-676-LA					



TYPICAL 676LA VAULT

SCALE: NTS



Oregon

Kate Brown, Governor

Department of Land Conservation and Development

635 Capitol Street NE, Suite 150

Salem, Oregon 97301-2540

Phone: (503) 373-0050

Fax: (503) 378-5518

www.oregon.gov/LCD

NEWS RELEASE

FOR IMMEDIATE RELEASE: March 8, 2018

CONTACT: Sadie Carney (503) 934-0036, Sadie.Carney@state.or.us



DLCD Guidance on ADUs

SALEM –While Oregon’s population continues to expand, the supply of housing, already impacted by a lack of building during the recession, has not kept up. To address the lack of housing supply, House Speaker Tina Kotek introduced legislation to remove barriers to development. Among the provisions that passed into law is the requirement that cities and counties over a certain population allow accessory dwelling units (ADUs) in areas zoned for single-family dwellings.

This new requirement becomes effective on July 1, 2018. To assist local governments, the Oregon Department of Land Conservation and Development (DLCD) has published “Guidance on Implementing the Accessory Dwelling Units Requirement.” In a few pages, the document highlights a variety of guidance by topic – from ADU design standards to occupancy requirements. The final page includes model code language for accessory dwellings that is ready to be tailored to fit the needs of communities. Step-by-step instructions have been shared with planning departments and cities around the state to further assist them in implementing the new standard.

“As we all work to address the housing crisis in our state, and help give more Oregonians shelter and a home, our agency is proud to offer this assistance to cities and counties,” said Director Jim Rue. “DLCD also has regional planners in offices around the state who can work directly with local governments to help tailor the model code to meet the needs of individual communities.”

“Guidance on Implementing the Accessory Dwelling Unit Requirements” can be viewed on the DLCD website at http://www.oregon.gov/LCD/docs/ADU_Guidance_DLCD_Final.pdf

For additional information related to DLCD Guidance on ADUs, contact Gordon Howard, Community Services Division Manager at gordon.howard@state.or.us or (503) 934-0034.

###

Oregon’s statewide land use planning program — originated in 1973 under Senate Bill 100 — protects farm and forest lands, conserves natural resources, promotes livable communities, facilitates orderly and efficient development, helps coordination among local governments, and enables citizen involvement.

The program affords all Oregonians predictability and sustainability to the development process by

allocating land for industrial, commercial and housing development, as well as transportation and agriculture.

The Department of Land Conservation and Development (DLCD) administers the program. A seven-member volunteer citizen board known as the Land Conservation and Development Commission (LCDC) guides DLCD.

Under the program, all cities and counties have adopted comprehensive plans that meet mandatory state standards. The standards are 19 Statewide Planning Goals that deal with land use, development, housing, transportation, and conservation of natural resources. Periodic review of plans and technical assistance in the form of grants to local jurisdictions are key elements of the program.

**GUIDANCE ON IMPLEMENTING
THE ACCESSORY DWELLING UNITS (ADU) REQUIREMENT
UNDER OREGON SENATE BILL 1051**



*M. Keplinger's backyard detached ADU, Richmond neighborhood, Portland, OR.
(Photo courtesy of Ellen Bassett and accessorydwellings.org.)*

OREGON DEPARTMENT OF LAND CONSERVATION AND DEVELOPMENT

MARCH 2018



Oregon Department of
Land Conservation
and Development

Introduction

As housing prices in Oregon go up, outpacing employment and wage growth, the availability of affordable housing is decreasing in cities throughout the state. While Oregon's population continues to expand, the supply of housing, already impacted by less building during the recession, has not kept up. To address the lack of housing supply, House Speaker Tina Kotek introduced House Bill 2007 during the 2017 legislative session to, as she stated, "remove barriers to development." Through the legislative process, legislators placed much of the content of House Bill 2007 into Senate Bill 1051, which then passed, and was signed into law by Governor Brown on August 15, 2017. In addition, a scrivener's error¹ was corrected through the passage of HB 4031 in 2018.

Among the provisions of SB 1051 and HB 4031 is the requirement that cities and counties of a certain population allow accessory dwelling units (ADUs) as described below:

- a) *A city with a population greater than 2,500 or a county with a population greater than 15,000 shall allow in areas within the urban growth boundary that are zoned for detached single-family dwellings the development of at least one accessory dwelling unit for each detached single-family dwelling, subject to reasonable local regulations relating to siting and design.*
- b) *As used in this subsection, "accessory dwelling unit" means an interior, attached or detached residential structure that is used in connection with or that is accessory to a single-family dwelling.*

This new requirement becomes effective on July 1, 2018 and subject cities and counties must accept applications for ADUs inside urban growth boundaries (UGBs) starting July 1, 2018. Many local governments in Oregon already have ADU regulations that meet the requirements of SB 1051, however, some do not. Still others have regulations that, given the overall legislative direction to encourage the construction of ADUs to meet the housing needs of Oregon's cities, are not "reasonable." The Oregon Department of Land Conservation and Development (DLCD) is issuing this guidance and model code language to help local governments comply with the legislation. The model code language is included on its own page at the end of this document.

¹ *The scrivener's error in SB 1051 was removing the words "within the urban growth boundary." HB 4031 added the words into statute, thus limited the siting of ADUs within UGBs.*

Guidance by Topic

The purpose of the following guidance is to help cities and counties implement the ADU requirement in a manner that meets the letter and spirit of the law: to create more housing in Oregon by removing barriers to development.

Number of Units

The law requires subject cities and counties to allow “at least one accessory dwelling unit for each detached single-family dwelling.” While local governments must allow one ADU where required, DLCDC encourages them to consider allowing two units. For example, a city or county could allow one detached ADU and allow another as an attached or interior unit (such as a basement conversion). Because ADUs blend in well with single-family neighborhoods, allowing two units can help increase housing supply while not having a significant visual impact. Vancouver, BC is a successful example of such an approach.

Siting Standards

In order to simplify standards and not create barriers to development of ADUs, DLCDC recommends applying the same or less restrictive development standards to ADUs as those for other accessory buildings. Typically that would mean that an ADU could be developed on any legal lot or parcel as long as it met the required setbacks and lot coverage limits; local governments should not mandate a minimum lot size for ADUs. So that lot coverage requirements do not preclude ADUs from being built on smaller lots, local governments should review their lot coverage standards to make sure they don’t create a barrier to development. To address storm water concerns, consider limits to impermeable surfaces rather than simply coverage by structures.

In addition, any legal nonconforming structure (such as a house or outbuilding that doesn’t meet current setback requirements) should be allowed to contain, or be converted to, an ADU as long as the development does not increase the nonconformity.

Design Standards

Any design standards required of ADUs must be clear and objective (ORS 197.307[4]). Clear and objective standards do not contain words like “compatible” or “character.” With the exception of ADUs that are in historic districts and must follow the historic district regulations, DLCDC does not recommend any special design standards for ADUs. Requirements that ADUs match the materials, roof pitch, windows, etc. of the primary dwelling can create additional barriers to development and sometimes backfire if the design and materials of the proposed

ADU would have been of superior quality to those of the primary dwelling, had they been allowed.

Parking

Requiring off-street parking is one of the biggest barriers to developing ADUs and it is recommended that jurisdictions not include an off-street parking requirement in their ADU standards. Adding off-street parking on many properties, especially in older centrally-located areas where more housing should be encouraged, is often either very expensive or physically impossible. In addition, when adding an additional off-street parking space requires a new or widened curb cut, it removes existing on-street parking, resulting in no net gain of parking supply. As an alternative to requiring off-street parking for ADUs, local governments can implement a residential parking district if there is an on-street parking supply shortage. For more help on parking issues, visit www.oregon.gov/lcd/tgm/pages/parking.aspx or contact DLCD.

Owner Occupancy

Owner-occupancy requirements, in which the property owner is required to live on the property in either the primary or accessory dwelling unit, are difficult to enforce and not recommended. They may be a barrier to property owners constructing ADUs, but will more likely simply be ignored and constitute an on-going enforcement headache for local governments.

Public Utilities

Development codes that require ADUs to have separate sewer and water connections create barriers to building ADUs. In some cases, a property owner may want to provide separate connections, but in other cases doing so may be prohibitively expensive.

System Development Charges (SDCs)

While SDCs are not part of the development code and SB 1051 does not require them to be updated, local governments should consider revising their SDCs to match the true impact of ADUs in order to remove barriers to their development. ADUs are generally able to house fewer people than average single-family dwellings, so their fiscal impact would be expected to be less than a single-family dwelling. Accordingly, it makes sense that they should be charged lower SDCs than primary detached single-family dwellings.

This page intentionally left blank.

Accessory Dwellings (model code)

Note: ORS 197.312 requires that at least one accessory dwelling be allowed per detached single-family dwelling in every zone within an urban growth boundary that allows detached single-family dwellings. Accessory dwellings are an economical way to provide additional housing choices, particularly in communities with high land prices or a lack of investment in affordable housing. They provide an opportunity to increase housing supply in developed neighborhoods and can blend in well with single-family detached dwellings. Accessory dwelling regulations can be difficult to enforce when local codes specify who can own or occupy the homes. Requirements that accessory dwellings have separate connections to and pay system development charges for water and sewer services can pose barriers to development. Concerns about neighborhood compatibility, parking, and other factors should be considered and balanced against the need to address Oregon's housing shortage by removing barriers to development.

The model development code language below provides recommended language for accessory dwellings. The italicized sections in brackets indicate options to be selected or suggested numerical standards that communities can adjust to meet their needs. Local housing providers should be consulted when drafting standards for accessory dwellings, and the following standards should be tailored to fit the needs of your community.

Accessory dwellings, where allowed, are subject to review and approval through a Type I procedure[, pursuant to Section _____,] and shall conform to all of the following standards:

[A. One Unit. *A maximum of one Accessory Dwelling is allowed per legal single-family dwelling. The unit may be a detached building, in a portion of a detached accessory building (e.g., above a garage or workshop), or a unit attached or interior to the primary dwelling (e.g., an addition or the conversion of an existing floor).*

/

A. Two Units. *A maximum of two Accessory Dwellings are allowed per legal single-family dwelling. One unit must be a detached Accessory Dwelling, or in a portion of a detached accessory building (e.g., above a garage or workshop), and one unit must be attached or interior to the primary dwelling (e.g., an addition or the conversion of an existing floor).]*

B. Floor Area.

1. A detached Accessory Dwelling shall not exceed [800-900] square feet of floor area, or [75] percent of the primary dwelling's floor area, whichever is smaller.
2. An attached or interior Accessory Dwelling shall not exceed [800-900] square feet of floor area, or [75] percent of the primary dwelling's floor area, whichever is smaller. However, Accessory Dwellings that result from the conversion of a level or floor (e.g., basement, attic, or second story) of the primary dwelling may occupy the entire level or floor, even if the floor area of the Accessory Dwelling would be more than [800-900] square feet.

C. Other Development Standards. Accessory Dwellings shall meet all other development standards (e.g., height, setbacks, lot coverage, etc.) for buildings in the zoning district, except that:

1. Conversion of an existing legal non-conforming structure to an Accessory Dwelling is allowed, provided that the conversion does not increase the non-conformity; and

2. No off-street parking is required for an Accessory Dwelling.

Definition (This should be included in the “definitions” section of the zoning ordinance. It matches the definition for Accessory Dwelling found in ORS 197.312)

Accessory Dwelling – An interior, attached, or detached residential structure that is used in connection with, or that is accessory to, a single-family dwelling.